

Tierra

del Oro

MASTERPLAN



Tierra del Oro

MASTER PLAN

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MASTER PLAN

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A. OVERVIEW

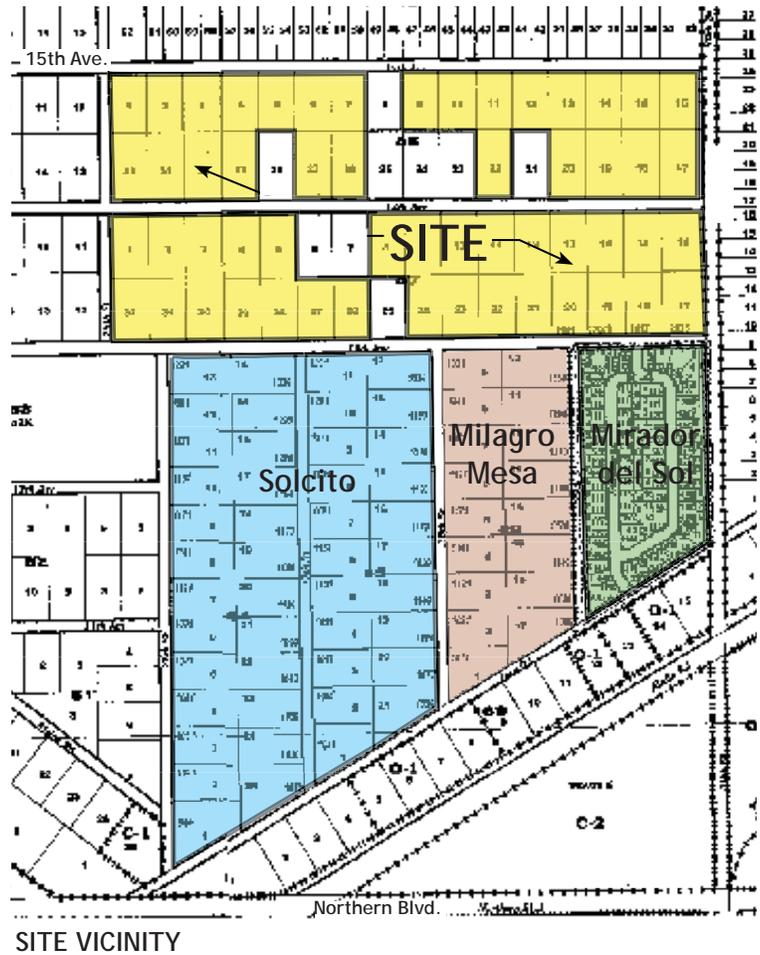
1. INTRODUCTION

Tierra del Oro is a 53.25 acre Master Planned Community located in central Rio Rancho, in Sandoval County. The property was consolidated in an effort to provide a planned and diverse mixed-use community. The site is located in Unit 13, and is bounded by 13th Avenue to the south, 15th Avenue to the north, 26th Street to the west, and 30th Street to the east. The properties included in the Master Plan and Zone Map Amendment are:

- Unit 13, Block 46, Lots 1-7, 9-20, 22, 26, 27, 29-32
- Unit 13, Block 47, Lots 1-5, 8-24, 26-32

The following objectives of the Master Plan are:

- To designate the preferred zoning for the subject site as R-2 , R-4, R-3, SU for R-6 and Continuing Care Retirement Community, and C-1;
- To provide urban design standards that may be incorporated into a diversity of housing types and neighborhood commercial;
- To implement the City of Rio Rancho Vision 2020 Integrated Comprehensive Plan (2020 ICP); and
- To integrate land use, transportation, drainage, and utility planning into a comprehensive development plan for the property.



2. REQUESTED ACTIONS

Actions requested include:

- Establishing zoning for 53.25 acres of unzoned property within the Master Plan area.
- Approval of the Master Plan for the site.



B. EXISTING CONDITIONS

1. INTRODUCTION

The existing conditions impacting this approximately 53.25 acre site include the surrounding land use/platting pattern, zoning, transportation, infrastructure, and natural features. Analyzing the benefits and constraints of existing conditions helps to frame the discussion for the proposed Master Plan as they relate to the general goals, objectives, and policies of the 2020 ICP.

2. ANTIQUATED PLATTING

The antiquated platting and diverse land ownership patterns, a common constraint faced within Rio Rancho, can be handled by land assemblage. Antiquated platting makes orderly, harmonious and economically sound development impossible. The 2020 ICP recognizes the issue of antiquated platting as a major obstacle to sound growth, and promotes land assemblage. In Rio Rancho, the problems associated with antiquated platting are: inadequate street layout, faulty lot layout (as it relates to size, adequacy, accessibility or usefulness, diversity of ownership, improper subdivision, obsolete and impractical planning and platting), and a menace to public health and safety.

At the time Unit 13 was platted, the common lot layout included rectilinear roadways, with rectangular one acre parcels perpendicular to the roadways. Although a grid layout is common practice, it does not comply with the urban design standards identified in the ICP. The Tierra del Oro project is the outcome of efforts made to assemble parcels into sizeable areas to focus residential development for mixed densities, including single family detached housing products, townhomes, apartments, and commercial development.



3. LAND USE

Surrounding land uses impacting Tierra del Oro are limited because adjacent lands to the north, west, and east are currently vacant. Mirador del Sol, a single family residential development zoned R-4 is located across 13th Avenue, at the southwest corner of the site. South of the site across 13th Avenue is the Solcito subdivision, zoned R-2 and R-4, and Milagro Mesa, zoned R-4. Both subdivisions are currently vacant. Further south and southwest, and within a mile from the project area, is the Northern Boulevard Area Plan and the Broadmoor Drive Specific Area Plan boundaries, which include lands zoned for O-1, C-1, C-2, M-1, R-4, and R-6.

4. TRANSPORTATION CORRIDORS

The main north/south corridors serving this site are 26th Street and 30th Street (a proposed minor arterial), which are the western and eastern boundaries of Tierra del Oro. The east/west corridors are 13th Avenue, 14th Avenue (which goes through the center of the community), and 15th Avenue.

With the new City Center being developed at Unser Boulevard and Paseo del Volcan (28th Street), this area will serve as infill development and help provide the necessary rooftops to serve Rio Rancho's developing downtown. Unser Boulevard, approximately one mile to the west of Tierra del Oro, is a major arterial, while 30th Street, located east of Tierra del Oro, is a proposed minor arterial. These two roadways will provide excellent access to community amenities, and will help support planned development and future employment areas near the City Center, Paseo Gateway Master Plan area, and within the Northern Boulevard Corridor.

5. NEARBY EDUCATIONAL AND PHYSICAL ACTIVITY CENTERS

There are four schools within two miles of Tierra del Oro, including Eagle Ridge Middle School, Ernest Stapleton Elementary School, Rio Rancho Mid-High School, and Rio Rancho High School. The University of New Mexico West Side Campus and Central New Mexico Community College (CNM) are planned close to City Hall and the Santa Ana Event Center, north of Paseo del Volcan. Sue Cleveland High School is currently under construction, east of City Center, near the intersection of Paseo del Volcan and Iris Road. The Loma Colorado Library and the Rio Rancho Aquatic Center are located within two miles of Tierra del Oro.

6. NATURAL FEATURES

The site is primarily rolling grassland with intermittent shrubs sparsely covering the surface. Indian Ricegrass, Blue Grama, and Ring and Bush Muhly are the dominant grasses. Cholla, Prickly Pear, and Narrowleaf Yucca are common. Fauna within the project area includes quail, cottontail rabbit, and jackrabbit. No threatened or endangered species are known to inhabit these lands.



C. CONTEXT PLAN

1. INTRODUCTION

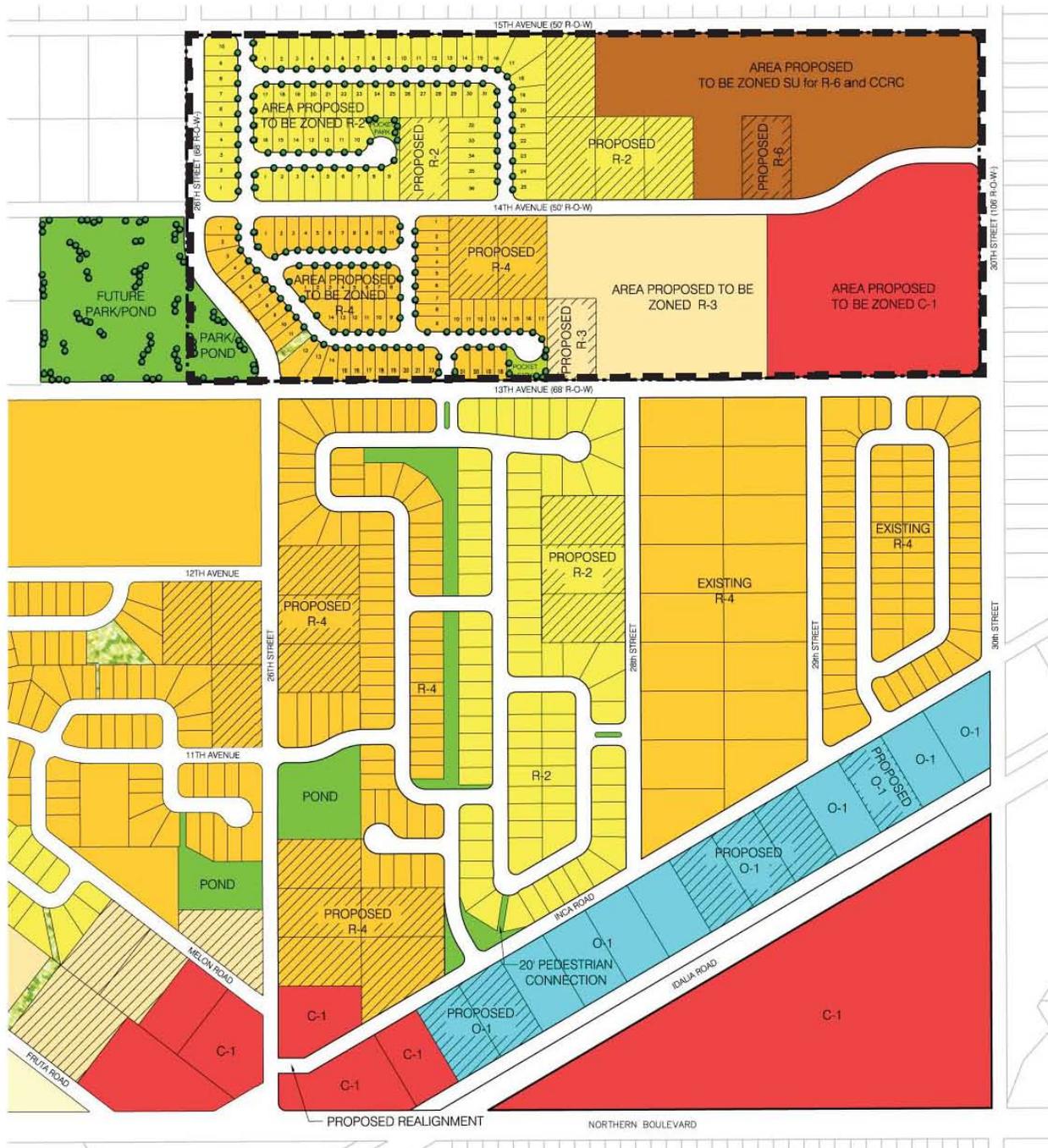
The Context Plan illustrates the setting in which the Tierra del Oro Master Plan resides (*see page 6*). The Plan and the respective land uses proposed do not stop at the property boundary. In this case, the area to the south has either been developed or previously master planned. These include the Mirador del Sol Subdivision, Solcito Master Plan, Milagro Mesa Subdivision, and the Northern Boulevard Corridor Plan. These adjacent plans and developments have helped to shape the Tierra del Oro Master Plan.

Context issues that shape the Master Plan include the location of higher intensity land uses along 30th Street, a proposed minor arterial that will serve as one of the main north/south connections between Northern Boulevard and the City Center; lower density residential lots are located to the west (Stonegate); and medium density residential lots are located to the south, Solcito and Milagro Mesa, adjacent to Mirador del Sol.

The Context Plan also illustrates the relationship to the roadway system surrounding Tierra del Oro. One of the key components to the Master Plan is the realignment of the intersection of 26th Street and 13th Avenue. This was a key recommendation from City staff, as the area around Tierra del Oro has been planned. The assembly of the properties within the Tierra del Oro Master Plan will enable this goal to be achieved. The northeast corner of the relocated intersection will also accommodate a drainage pond/park that is needed for the development of Tierra del Oro and other properties in the area.

A missing component for the area is a community park. The developer of Tierra del Oro Master Plan proposes to dedicate 7-acres towards the development of a community park to the City of Rio Rancho. The park will primarily be located west of the subdivision, but will include the 1.14 acre park/pond area within the Master Plan area.





ZONING / LAND USE

 R-2 / Med. Density S.F.	 O-1 / Office
 R-3 / Med. Density M.F.	 PR / Park / Pond
 R-4 / Med. Density S.F.	 R-2,R-4 / Pocket Park
 SU for R-6 / High Density M.F. and CCRC	 Open Space
 C-1 / Commercial	 Potential Zoning Currently Unzoned

Tierra del Oro

Context Plan



D. PROPOSED LAND USE, ZONING, and DENSITY

1. INTRODUCTION

This Master Plan includes a zone map amendment for a range of zoning to establish a distinctive community offering a maximum choice of housing, employment, and retail services. The land uses in Tierra del Oro are proposed to be of varying densities and products, including single-family detached homes, townhomes, and apartments, and supporting commercial and/or office uses. Zoning requested for Tierra del Oro includes R-2, R-3, R-4, SU for R-6 and/or Continuing Care Retirement Community (CCRC), and C-1 zones. Development Standards are addressed in Section I, Design Standards, page 33.

The following table below includes the land use, zoning, acreage, number of lots, density, number of residents for each neighborhood, and the total lots and residents for the community. The sequence for development of neighborhoods may vary; the neighborhood designation is not intended to suggest a specific order of development.

The table also includes the number of residents projected for Tierra del Oro at full build-out in order to determine park dedication requirements. Household size is assumed to be 2.83 persons, regardless of the unit type. The City of Rio Rancho's level of service for parks is 3 acres per 1,000 population. Based on the number of residents, Tierra del Oro will exceed the park dedication requirement of 3.8 acres by providing a 7 acre park at the north-west corner of 26th Street and 13th Avenue. This location for the park was identified in conjunction with the City as being better able to serve a larger segment of the greater community. Approximately 1.14 acres of the park site is within the boundary of Tierra del Oro, and the remaining 5.86 acres are to the west. The area specifically allocated for ponding, 2.16 acres, which will be identified with subdivision plats, will not count towards meeting the park dedication requirement.

Land Use	Zoning	Acreage	# of Units	Density du's/ac	# of Residents
Single-Family Neighborhood A	R-2	12.76	71	6	200
Single-Family Neighborhood B	R-4	10.01	68	7	190
Multi-Family Neighborhood C	R-3	7.88	95	12	269
Multi-Family Neighborhood D	SU for R-6	11.10	218	24	617
TOTAL RESIDENTIAL		41.75	452	12.25	1,276
Commercial	C-1	9.86			
Park	PR	1.14			
Pocket Parks	R-2 & R-4	.41			
Open Space		.09			
TOTAL		53.25			

2. LAND USE AND ZONING DESCRIPTIONS

This section provides a general description of the zone categories requested by the developer. A Zoning Map is on pages 11-12, followed by the Conceptual Lot Layout Plan on pages 13-14.

Neighborhood A - R-2/Single-Family Residential

The R-2 district is a moderate density zone. This zone allows only single-family dwelling units with a minimum lot size of 5,000 square feet and minimum lot width of 50 feet. The Master Plan proposes a 12.76 acre R-2 area with 71 lots located along 26th Street, between 14th and 15th Avenues.

Neighborhood B - R-4/Single-Family Residential

The R-4 district is a moderate density zone. This zone allows only single-family dwelling units with a minimum lot size of 4,000 square feet and minimum lot width of 40 feet. The Master Plan proposes a 10.11 acre R-4 area with 68 lots located along 26th Street, between 13th and 14th Avenues.



Neighborhood C - R-3/Multi-Family Residential

The R-3 district is a moderate density zone. This zone allows single-family and multi-family dwelling units, and townhomes. Single-family lots shall be a minimum of 4,000 square feet, and have a minimum lot width of 40 feet. Multi-family lots shall be a minimum of 10,000 square feet, and have minimum lot width of 70 feet, and contain a minimum of six units per lot. Townhome lots shall be a minimum 1,200 square feet, and have a minimum lot width of 32 feet. The Master Plan proposes a 7.88 acre R-3 area, located between the R-4 and C-1 areas.

Neighborhood D - SU for R-6/Multi-Family Residential and Continuing Care Retirement Community (CCRC)

The SU for R-6 and CCRC district is a high density zone. This area would also be appropriate for a CCRC, which could include independent living, assisted living, skilled nursing, and alzheimer residences. This zone allows only multi-family/high density dwelling units with a minimum lot size of 10,000 square feet, a minimum lot width of 70 feet, and a maximum of 32 units per acre. The SU for R-6 and CCRC area is 11.1 acres located along 30th Street, between 14th and 15th Avenues. Multi-family development within the SU for R-6 and CCRC area shall include common areas and childrens' play areas.

C-1/Commercial

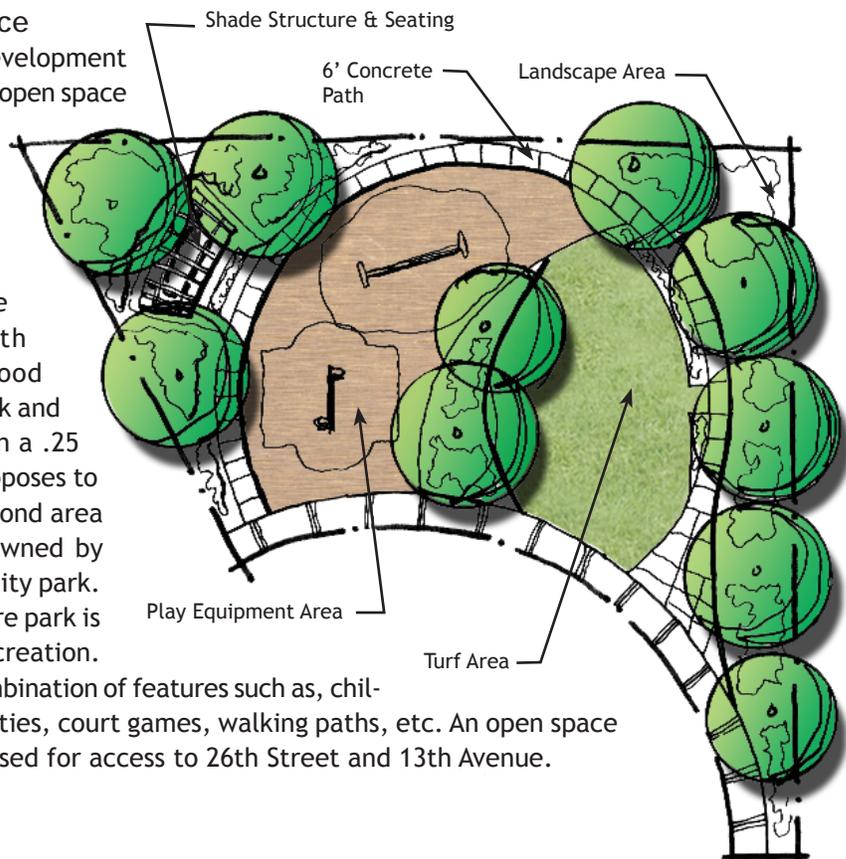
The intent of the commercial site at Tierra del Oro is to provide local services to the area residents north of Northern Boulevard. Pedestrian access will be provided to adjacent neighborhoods.

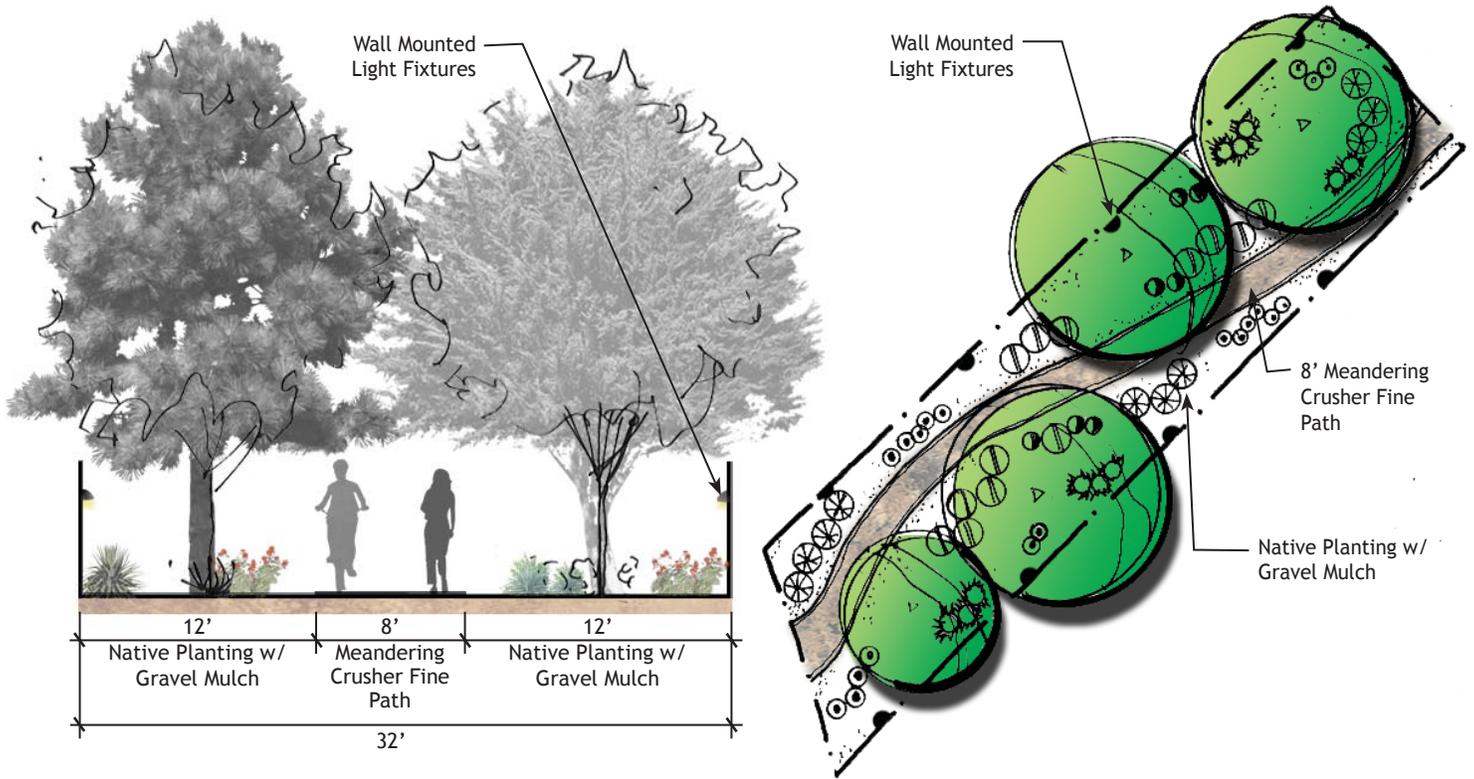
The Master Plan proposes a 9.86 acre area to be zoned C-1/Retail Commercial, located at the southeast corner of the site along 30th Street, a proposed minor arterial, and between 13th and 14th Avenues. A 15 foot landscape buffer will separate the commercial site from the adjacent R-3/Multi-family site. The commercial site will be accessed from 13th Avenue, 14th Avenue, and 30th Street.

Park, Pond, and Open Space

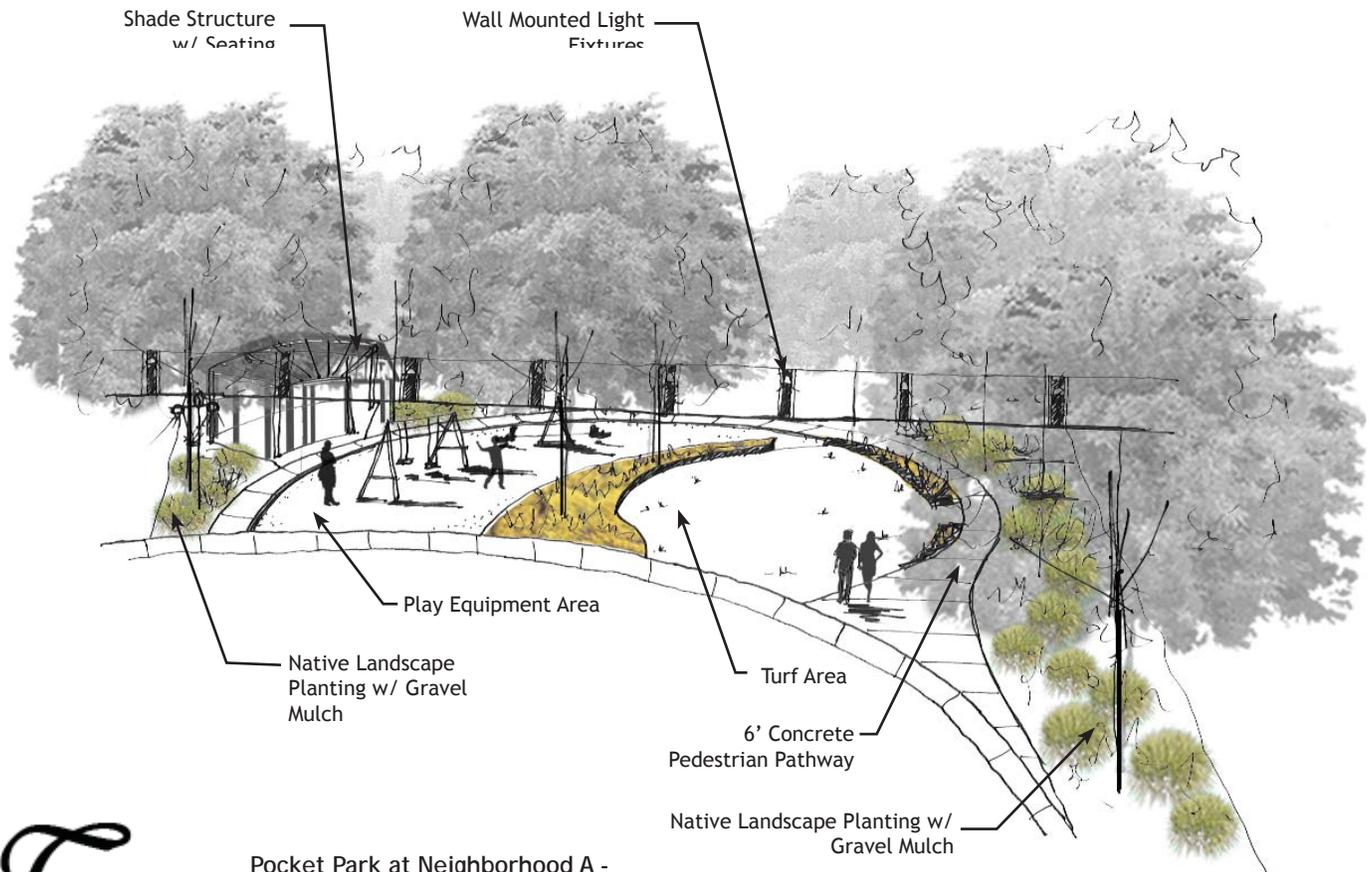
The Tierra del Oro Master Development Plan recognizes that parks and open space are important community amenities. The park, pond, and open space accounts for 1.64 acres. There will be a pocket park in each single-family community to provide recreation for families with small children. Neighborhood "A" will contain a .16 acre park and Neighborhood "B" will contain a .25 acre park. The developer proposes to combine the 1.14 acre park/pond area with several adjacent lots, owned by him, to form a 7-acre community park. The primary focus for the 7 acre park is to provide space for active recreation.

Amenities should include a combination of features such as, children's play areas, picnic facilities, court games, walking paths, etc. An open space easement (.09 acres) is proposed for access to 26th Street and 13th Avenue.



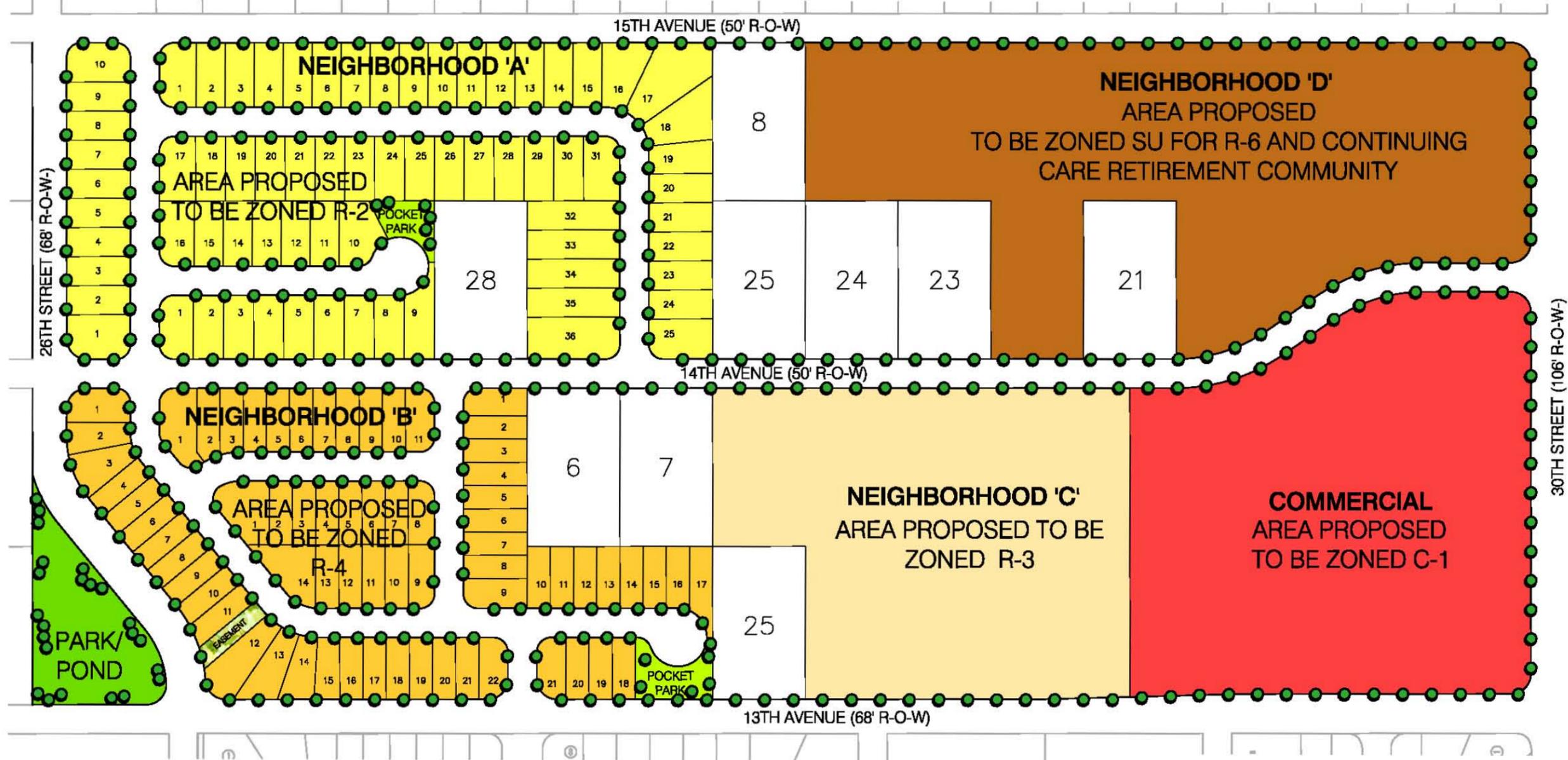


32 Foot Trail Easement at 26th Street - Section (left) and Plan View (right)



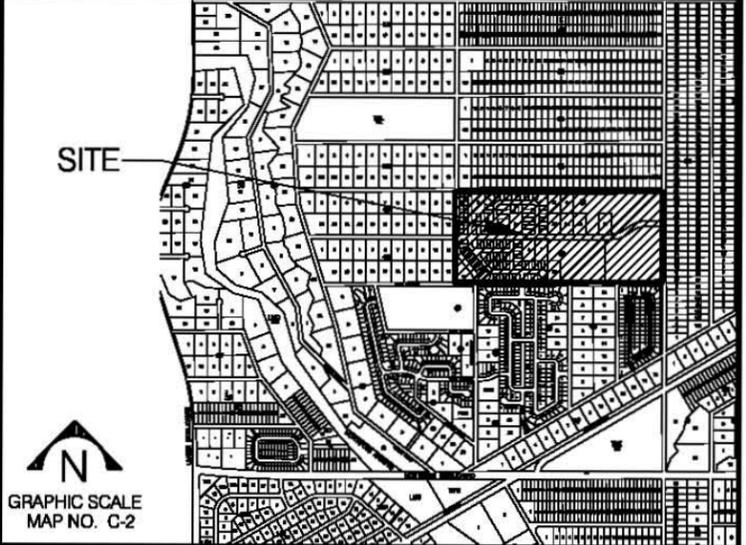
Pocket Park at Neighborhood A -
Plan View (page 8) and Perspective (above)





*Future Park (7 acres total)

SITE VICINITY



LAND USE	Acres
R-2 / Single Family	12.76
R-3 / Multi-Family	7.88
R-4 / Single Family	10.01
SU for R-6 / Multi-Family and CCRC	11.10
C-1 / Commercial	9.86
R-2, R-4 / Pocket Park	.41
Park / Pond	1.14
Open Space	.09
Total:	53.25

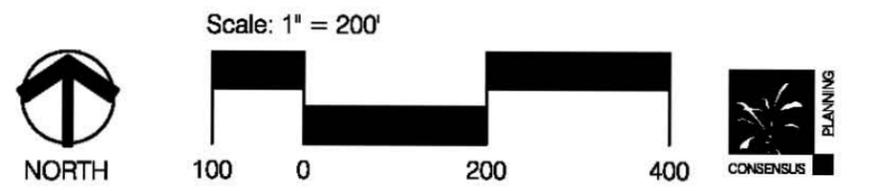
Cierra del Oro

CONCEPTUAL LOT LAYOUT

Prepared For:
Beta Equities, LLC
100 Gold Avenue NW
Suite 209
Albuquerque, NM 87102

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Huitt-Zollars, Inc.
333 Rio Rancho DR NE
Suite 101
Rio Rancho, NM 87124



E. CONFORMANCE TO THE VISION 2020 INTEGRATED COMPREHENSIVE PLAN

1. INTRODUCTION

The Tierra del Oro Master Plan adheres to the Rio Rancho Vision 2020 Integrated Comprehensive Plan (2020 ICP). The 2020 ICP is a policy document that lays out broad goals, objectives and policies to guide the growth and development of Rio Rancho. The 2020 ICP provides general development policies and guidelines for all new development. The 2020 ICP is organized around eight fundamental principles or areas of concern regarding future development in the community. These categories are:

- Land Use-Fiscal Analysis
- Urban Design
- Transportation and Circulation
- Infrastructure and Capital Facilities
- Environmental Sustainability
- Housing
- Community Services and Public Facilities
- Economic Development

The Tierra del Oro Master Plan will help implement the principles of the 2020 ICP. How the Master Plan meets each principle, and intent of the policies and action statements is listed below.

2. LAND USE-FISCAL ANALYSIS

The intent of this principle is to ensure a land use pattern that offers a diversity of housing, while maximizing commercial and employment opportunities. The land use concept for the Tierra del Oro Master Plan accomplishes the intent of the principle by including a variety of residential densities that are served by appropriated scaled commercial and office uses. The Tierra del Oro Master Plan represents an effort toward land use planning that is efficient and fiscally sound for the City of Rio Rancho. This Master Plan conforms to several policies and actions found within the 2020 ICP, including those related to master planning, mixed use, and the provision of residential densities served by commercial, and jobs for the local residents.

The Tierra del Oro Master Plan addresses the policies and actions set forth by the 2020 ICP in several ways. The Master Plan shows a variety of residential densities classified by R-2, R-3, R-4, and SU for R-6 and Continuing Care Retirement Community (CCRC) zoning. These zoning categories allow a flexibility of lot sizes and housing products within the Master Plan boundaries. A total of 9.86 acres of commercial uses will provide services and jobs to the community, while limiting the number of trips residents will need to take to other parts of the City.

The City also promotes the assembly of prematurely platted properties into developable parcels. Increased property taxes derived from the housing and commercial uses developed within Tierra del Oro will help to support the Rio Rancho School District's construction of future school sites, and maintenance of existing facilities.

The Tierra del Oro Master Plan provides a distinctive community that offers a choice of housing, employment, and retail services. It is conceivable that people living in the Tierra del Oro community could find employment in the commercial area of the Plan, in nearby commercial areas, in the City's downtown, or at nearby schools.

3. URBAN DESIGN

The Tierra del Oro Master Plan furthers the intent of the City of Rio Rancho by proposing infill development in a mixed-use community center node as designated. In addition to



infill development, this Master Plan implements the Mixed-Use Community Center Nodal Activity Center concept. The Tierra del Oro Master Plan will utilize existing City of Rio Rancho zoning categories, and development will conform with the design standards contained in those zoning categories, except the R-3 guidelines will be specific to that zone. Design standards created for Tierra del Oro will provide unified streetscapes and signage program, perimeter walls, entries, neighborhood amenities such as pocket parks for each single-family community, and support the overall connectivity of the community itself. Landscaping requirements shall apply to streetscapes, retention/detention ponds, walls, and screening patterns. See Section I, Design Standards, page 33.

4. TRANSPORTATION AND CIRCULATION

The transportation principle is intended to establish a long-range transportation network to meet local and regional circulation needs. A multi-modal transportation system to move people and goods is encouraged. The road network is designed to accommodate the 2020 ICP Preferred Land Use Scenario. A full Traffic Impact Analysis (TIA) will be submitted with the preliminary plat package for Tierra del Oro. This analysis will give specifics for required improvements in conjunction with the development.

Primary access to the residential portions of Tierra del Oro is from 26th Street, while 14th Avenue will be the main entrance to the commercial and multi-family portion of Tierra del Oro. 26th Street at 13th Avenue will be realigned to allow for proper drainage from Tierra del Oro, and for better traffic flow along 26th Street.

The internal vehicular circulation system will provide for north/south and east/west connections. Internal pedestrian circulation will be provided by sidewalks along the interior roadways to the residential subdivisions. The 7 acre City park will provide an opportunity for a trail connection between 14th Street and 15th Street, and the easement, located at the southwest corner of the R-4 development will provide a pedestrian connection to 13th Avenue and 26th Street.

5. INFRASTRUCTURE AND CAPITAL FACILITIES

The infrastructure and capital facilities hopes to promote public health, safety, and general welfare, and to preserve and enhance the natural systems that contribute to a safe and efficient water supply.

Planning and design of infrastructure within Tierra del Oro minimizes the alteration of natural flood plains, stream channels and natural protective barriers. Grading and development activities are designed to prevent flood or erosion damage. Development is prohibited in areas that would inhibit storm water flow and infiltration. A Conceptual Drainage Plan is provided in Section G, starting on page 23.

6. ENVIRONMENTAL SUSTAINABILITY

The basic tenet of environmental sustainability is to maintain and improve natural resources in Rio Rancho for generations to come. Ways to achieve this, as suggested by the 2020 ICP, are through recycling, water conservation and re-use, low-impact transportation alternatives, and the use of renewable resources. The design standards in this Master Plan require night sky compliant lighting, and xeriscaping principles of design.

7. HOUSING

Adequate and affordable housing will be achieved by providing a variety of housing options and products. Service and quality of life amenities are provided for each neighborhood in the Tierra del Oro community. Residential neighborhoods are appropriately sited and protected from incompatible land uses.

The Tierra del Oro Master Plan calls for a mix of land uses that will accommodate a variety of housing options for residents. There are four residential zones within the Master Plan that will provide buyers a choice of housing types, densities, and products, and helps meet the



demand of the 2020 ICP for diverse housing options. Home buyers are anticipated to include families, singles, couples, empty nesters, and people of all income levels. Each neighborhood will have a unique feel, but will be part of a unified design for the overall community.

8. COMMUNITY SERVICES AND PUBLIC FACILITIES PRINCIPLE

The goal of the Community Services and Public Facilities Principle is to ensure that efficient and cost effective services are accessible to all persons.

The Public Safety Policy requires that all residents of Rio Rancho be assured proper access to police, fire, and emergency services. Impacts to the police, fire, and emergency rescue services should be considered in development plans according to the 2020 ICP. New residential development will be served by the Northhills Fire Substation at Cherry and Unser, located less than two miles from the primary entrance to Tierra del Oro.

Children at Tierra del Oro will attend the Ernest Stapleton Elementary School and Mountain View Mid-School. Rio Rancho High School is currently the only high school serving the City of Rio Rancho. A new high school is planned at Paseo del Volcan and Iris. In addition, within a mile of the Master Plan, new facilities include the Santa Ana Event Center, City Hall, Loma Colorado Library, and the aquatics center (currently under construction).

9. ECONOMIC DEVELOPMENT PRINCIPLE

The primary goal of the economic development principle is to expand employment opportunities, provide a mix of jobs, support existing retail and service needs, as well as, provide infrastructure to support and attract existing and new businesses.

The Land Use Plans for Tierra del Oro provides a mix of residential and commercial uses. The intent of the land use plan is to provide an appropriate amount of commercial to serve Tierra del Oro and the surrounding area. The commercial activity has been concentrated at the intersection of 14th Avenue and 30th Street, a proposed minor arterial. The commercial activity center will generate revenue for the City of Rio Rancho, as well as offer convenient opportunities for future employment and shopping for area residents. The Tierra del Oro Master Plan achieves and implements several policies of the 2020 ICP. Policies relating to capturing gross receipts taxes, attracting quality jobs, and developing an independent, self sustaining community are met by the commercial component. In addition, housing has contributed to Rio Rancho's growth and prosperity over the past few years and serves to attract new retailers and employers.



F. TRANSPORTATION PLAN

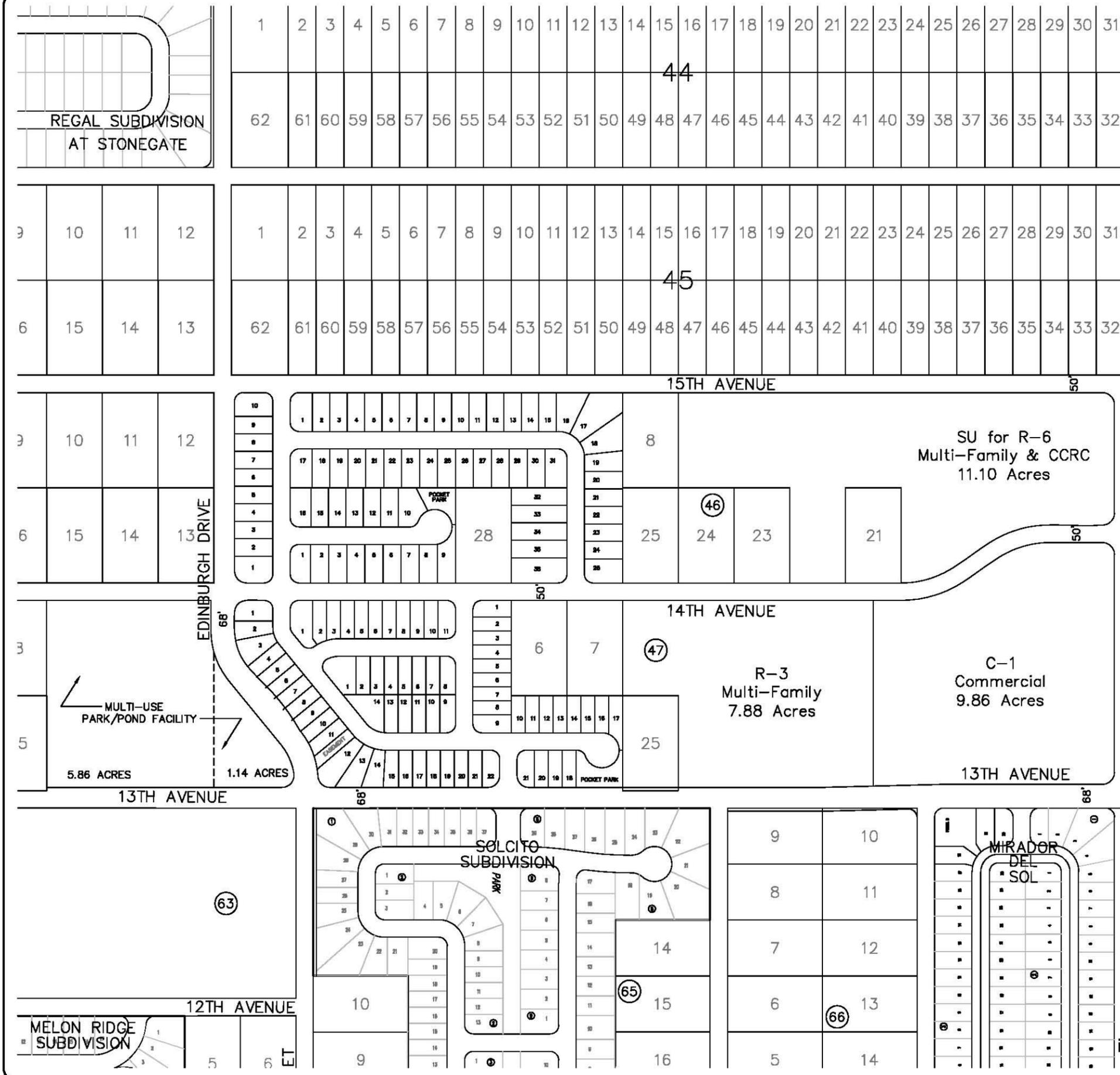
1. INTRODUCTION

The main entrance for the residential portions of the Tierra del Oro subdivision will be 14th Avenue, while 30th Street and 14th Avenue will be the main entrances for the commercial portion.

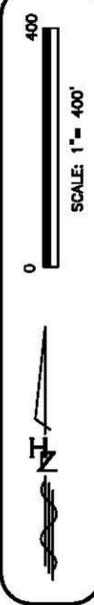
The rights-of-way for 13th Avenue and 26th Street will be expanded to 68 foot wide sections. The current layout shows these roads with the right-of-way take necessary for a 68 foot wide right-of-way along 13th Avenue, as well as 26th Street. The required right-of-way, on the appropriate sides of the development, will be dedicated by the Tierra del Oro development.

A full traffic impact analysis will be submitted with the preliminary plat package for the development. This analysis will give specifics for required improvements in conjunction with the development.





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Designed By
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PRELIMINARY LAYOUT
TIERRA DEL ORO SUBDIVISION
EXHIBIT #1

20MAY08 (JDL)
& Proj\7081301-Solcito\JWC\Final\Monitor Plan\Map04.dwg
Designed For:
BETA EQUITIES, LLC

G. CONCEPTUAL DRAINAGE PLAN

1. INTRODUCTION

The intent of the conceptual drainage plan for Tierra del Oro is to provide the initial structure for a drainage solution within the watershed. The plan will consider existing conditions within the watershed and adhere to the land treatments laid out in the “Montoyas Arroyo Watershed Management Plan” (MAWMP), dated July 2002. The recommendations within the drainage plan are intended to establish a framework for development throughout the subdivision. The Tierra del Oro subdivision will fall within the jurisdiction of the City of Rio Rancho and the Southern Sandoval County Arroyo Flood Control Authority (SSCAFCA).

2. PLAN AREA DESCRIPTION

The Tierra del Oro Master Plan consists of 53.25 acres of residential and commercial property that will be divided into five separate areas, and 1.64 acres of open space/parks.

Neighborhood A:

71 Total Lots (R-2) on 12.92 acres with a minimum area of 5,000 square feet

Neighborhood B:

68 Total Lots (R-4) on 10.36 acres with a minimum area of 4,000 square feet

Neighborhood C:

R-3 Multi-Family site on 7.88 acres

Neighborhood D:

SU for R-6/Multi-Family and Continuing Care Residential Community site on 11.10 acres

C-1 Commercial site on 9.86 acres

The single-family portion of the Tierra del Oro subdivision will consist of a total of 139 lots at a density of 5.98 dwelling units per acre. Individual neighborhoods will be designated for individual home builders by the developer. Interim drainage improvements will be required as the property develops.

3. FLOOD ZONE

Per FEMA FIRM Panel 35043C1900D dated March 18, 2008, the Tierra del Oro Master Plan area does not fall within a designated flood plain.

4. EXISTING CONDITIONS

The existing drainage basin (Basin M20.104 from MAWMP) consists of a total of 761.60 acres. The existing platting consists of ½ and 1 acre lots. Land treatments for existing conditions will be calculated at 100% Type ‘A’.

The majority of the existing drainage basin converges at the intersection of 13th Avenue and 26th Street. A natural playa exists at this intersection. Storm water runoff travels to the playa and ponds north of 13th Avenue. The entire area of the Tierra del Oro Master Plan will drain to the natural playa. Once the playa is overtopped the storm water runoff will find its way to Northern Boulevard via 26th Street and into the Montoyas Arroyo. Storm water will not cross Northern Boulevard until it enters the existing box culvert at Northern Boulevard within the Montoyas Arroyo.



5. DEVELOPED CONDITIONS

The land treatments for out parcels within the Tierra del Oro area were determined in the “Montoyas Arroyo Watershed Management Plan” and are as follows:

MONTOYAS ARROYO WATERSHED MANAGEMENT PLAN				
Parcel Description	Land Treatments			
	A	B	C	D
1/2 Acre	10%	33%	30%	27%
1 Acre	43%	20%	20%	17%

Land treatments for the Tierra del Oro Master Plan will be determined using the following equation from the City of Albuquerque DPM for a Single Family Residential Subdivision: $7*((N*N)+(5*N))^{0.5}$ where, N = units / acre (N = 139 units / 23.26 ac = 5.98). Using the equation the %D land treatment will be 57%. The remaining will be split between Treatments B and C. Therefore the Land Treatments for the residential portion of Tierra del Oro will be as follows: %A = 0, %B = 21.5, %C = 21.5 and % D = 57. The remaining portions of the development will follows the land treatments described in the “Montoyas Arroyo Watershed Management Plan” and are as follows:

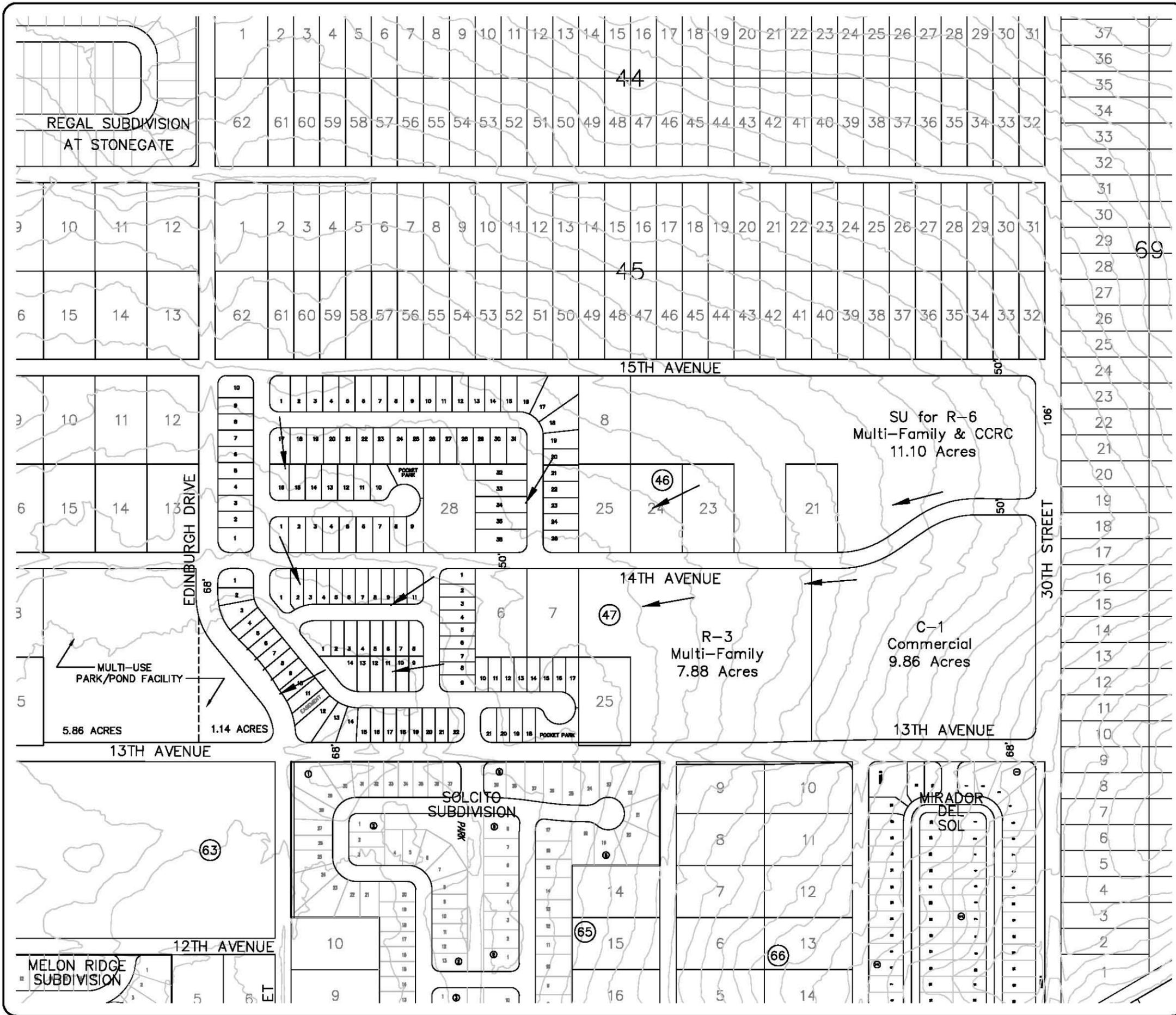
MONTOYAS ARROYO WATERSHED MANAGEMENT PLAN				
Parcel Description	Land Treatments			
	A	B	C	D
Commercial	0%	0%	15%	85%
Multi-Family	0%	15%	15%	70%

The Tierra Del Oro development is part of the Edinburgh Facility Plan approved by the SSCAFCA Board of Directors on May 16, 2008. The facility plan creates a regional detention pond at the northwest corner of Edinburgh Drive and 13th Avenue. Tierra Del Oro will be allowed to free discharge into the regional detention pond.

The regional detention pond will be a multi-use facility with a significant park component to serve the future residents of the development. The multi-use facility will encompass a total footprint area of 7.01 acres. The primary ponding area will total 2.16 acres. The remaining area will be tiered and include playing fields, play equipment and parking area. The ponding area will include gravel mulch of the pond side slopes. The landscaping plan will be submitted and approved with the construction plans. A separate construction plan set will be submitted for the park as the area develops.

An internal drainage report will be prepared as part of the preliminary plat submittal for the Tierra Del Oro subdivision. This report will outline specifics pertaining to the storm drain system, inlet locations and penetrations from the development into the regional detention pond. The plat will also outline the responsibilities for the storm drain facilities for SSCAFCA and the City of Rio Rancho.

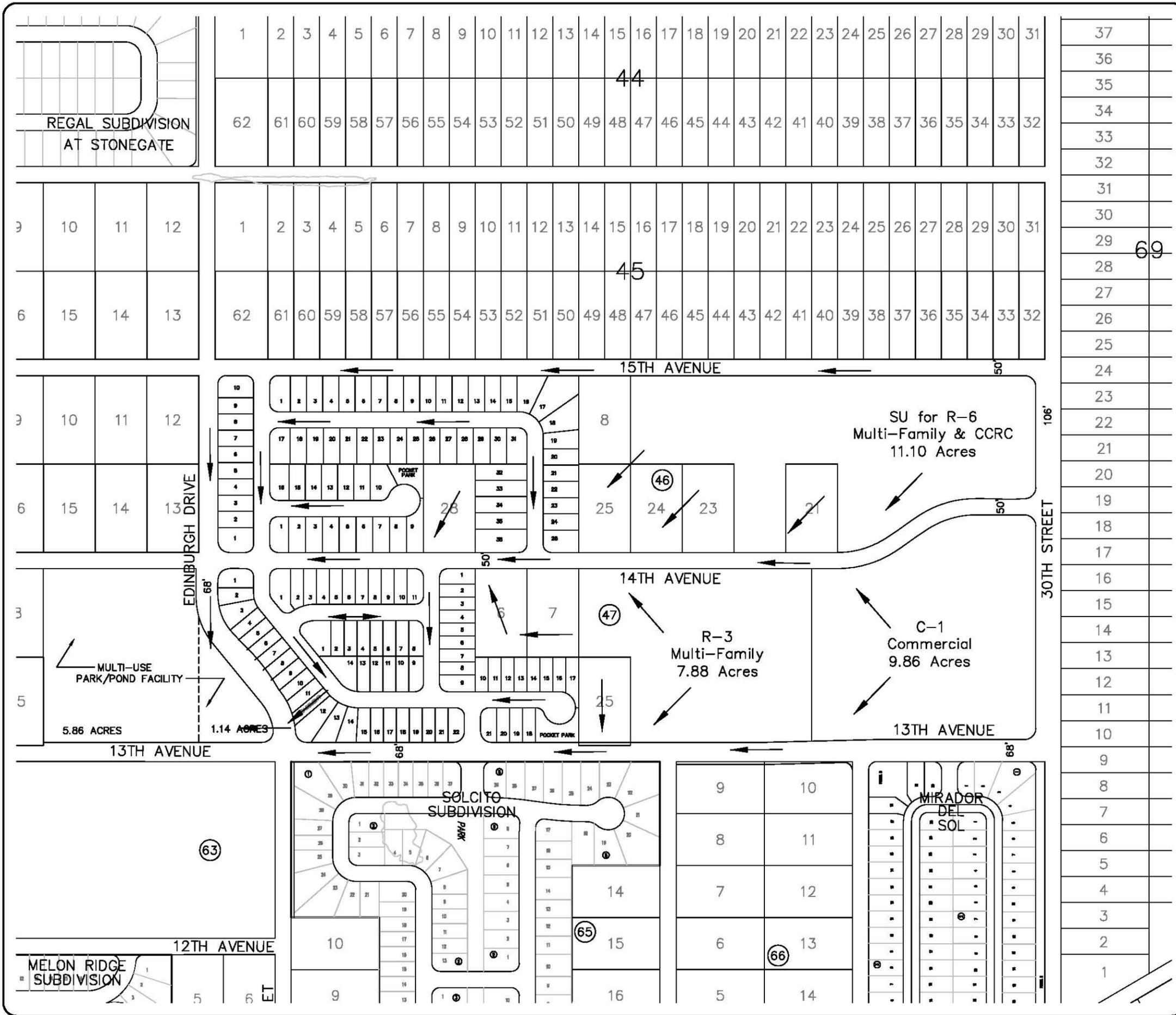




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EXISTING DRAINAGE PATTERNS
TIERRA DEL ORO SUBDIVISION
EXHIBIT #2

20MAY08 (JDL)
 & Proj\7081301-Solcito\DWG\Exhibit\Monitor Plan\Vgypak4.dwg
 Designed For:
BETA EQUITIES, LLC



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PROPOSED DRAINAGE PATTERNS
TIERRA DEL ORO SUBDIVISION
EXHIBIT #3

20MAY08 (JDL)
 & Proj\7061301-Solcito\DWG\Exhibit\Monitor Plan\Vgypark.dwg
 Designed For:
BETA EQUITIES, LLC

H. UTILITY MASTER PLAN

1. INTRODUCTION

Tierra del Oro is in an area that is yet to be serviced by the City of Rio Rancho Utilities Department. There are three developments at various stages surrounding Tierra del Oro. Melon Ridge Subdivision to the southwest has an approved Master Plan and has submitted for preliminary plat. Solcito Subdivision to the south has an approved Master Plan. The Stonegate development to the west has submitted infrastructure plans for final approval. These developments will bring the required infrastructure to Tierra del Oro according to the City of Rio Rancho requirements.

2. DOMESTIC WATER

Water will be provided from a 14" water main within 26th Street. The water line will be extended from 26th Street with a 8" main to and through 14th Avenue. The line will tie to the future 24" main to be constructed by the City of Rio Rancho in 30th Street. The 8" waterline mains will be extended from the 12" waterline in 13th Avenue, to be built with the Solcito Subdivision. All lines internal to the development will have 8" lines with connections to the mains at 26th Street, Inca Road and 13th Avenue. All new homes will have service connections per the City of Rio Rancho standards (see Utility Layout Exhibit #4 for lines locations and sizes, pages 31-32).

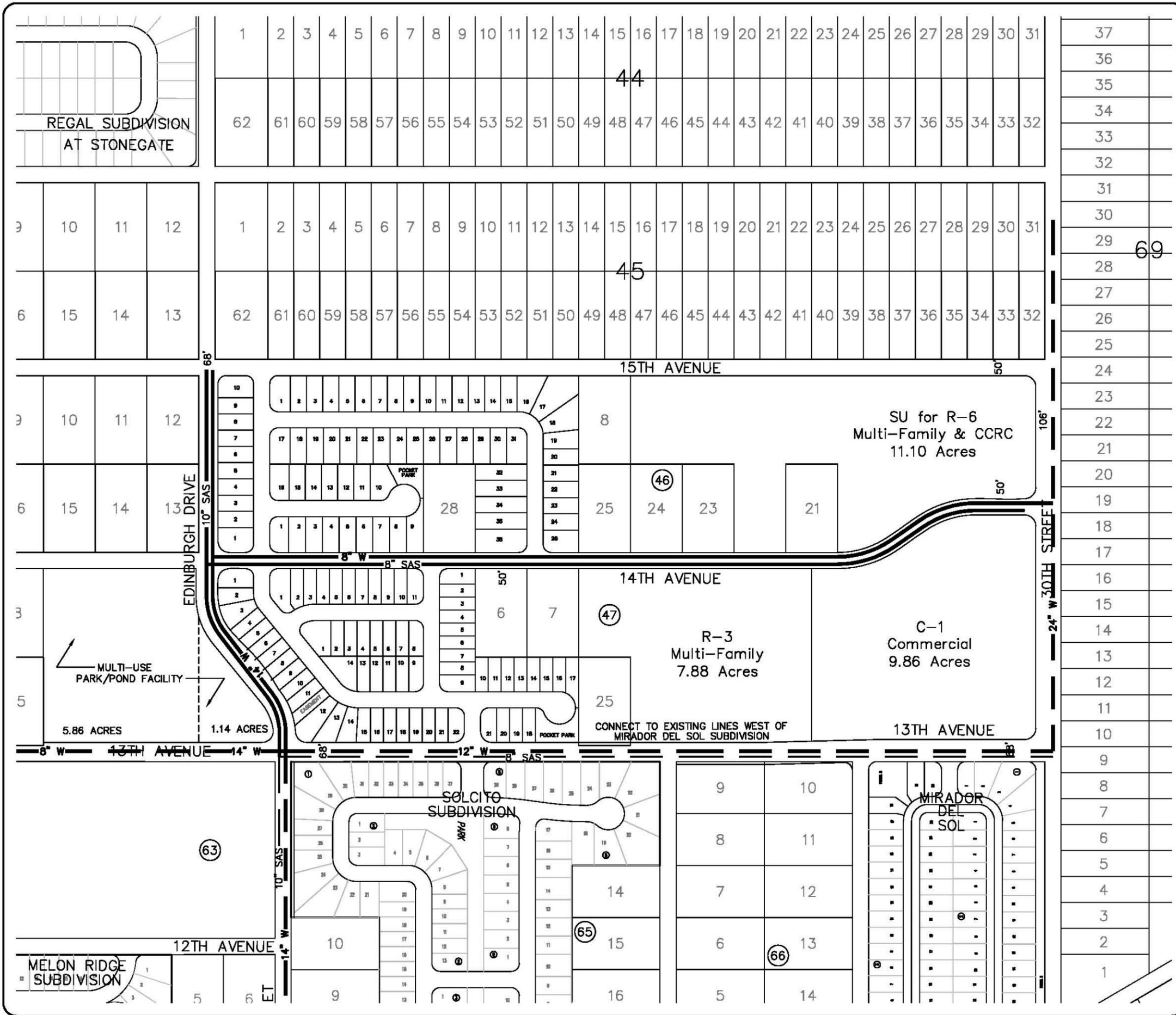
3. SANITARY SEWER

Sewer service will be provided through the 15" interceptor within the Montoyas Arroyo. The 15" interceptor will travel to Wastewater Treatment Plant #2. Plant #2 has sufficient capacity for the development. The sewer outfall for the subdivision will be within 26th Street. This line will travel south along 26th Street to Northern Boulevard where it will travel west to the Montoyas Arroyo interceptor. The developer realizes that the Montoyas interceptor is currently experiencing a bottleneck at NM 528. The solution to the bottleneck is currently under design and planned to be complete with construction in late 2007. No building permits will be requested until such time as the construction is complete on the interceptor and the bottleneck is resolved.

The drainage basin for the area includes a total of 1.2 square miles. This development is within the middle portion of the watershed. The following assumptions were made while sizing the sewer lines for Tierra del Oro, including that the watershed would develop at a 5 dwelling units / acre rate and yield a total of 3,808 homes in the area. This assumption places the basin between the typical R-1 and R-4 zoning for du's / acre.

Using the "Guidelines for Issuing Water & Wastewater Letters of Availability", dated May 17, 2000, it has been determined that the basin will produce 1.8 mgd. This flow results in an outfall pipe size of 12" at a slope of 0.5%. Additionally, a 10" line will be needed at the intersection of 12th Avenue and 26th Street to handle the flow that will reach that point. The main backbone infrastructure lines are scheduled to be installed with the Melon Ridge and Solcito subdivisions. All other internal roadways within the subdivision will have 8" lines. All new homes will have 4" lateral connections per the City of Rio Rancho standards (see Utility Layout Exhibit #4 for lines locations and sizes, pages 31-32).





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UTILITY LAYOUT
TIERRA DEL ORO SUBDIVISION
EXHIBIT #4

20MAY08 (JDL)
 & Proj\7061301-Solcito\DWG\Exhibit\Monitor Plan\Utility.dwg
 Designed For:
BETA EQUITIES, LLC

I. DESIGN STANDARDS

1. INTRODUCTION

The Tierra del Oro Master Plan recognizes the importance of promoting a sense of cohesiveness within the entire community that includes both residential and commercial land uses. The purpose of these design standards is to provide a flexible framework for community design that encourages innovative and creative solutions, rather than setting a rigid set of requirements. These standards will help implement the Urban Design provisions of the City of Rio Rancho's Vision 2020 Plan.

The desired character for this mixed use community is expressed in these standards. Under each design element there is a list of general standards that apply to all land uses, and certain standards that may apply specifically to single family and multi-family residential or commercial development only.

This section of the standards is primarily intended as a generalized guide for end users that will participate in the development of Tierra del Oro. Where these standards conflict with City ordinance, the more stringent shall apply.

2. SITE DESIGN

A primary focus for specific site design within Tierra del Oro will be the creation of a pedestrian and bicycle oriented community. All individual neighborhoods should provide convenient pedestrian circulation through and between parcels, and to the external streets and adjoining developments. The relationship of building to the street contributes to how the environment is experienced and as such is an important design issue to consider in site planning for all types of land uses.

General

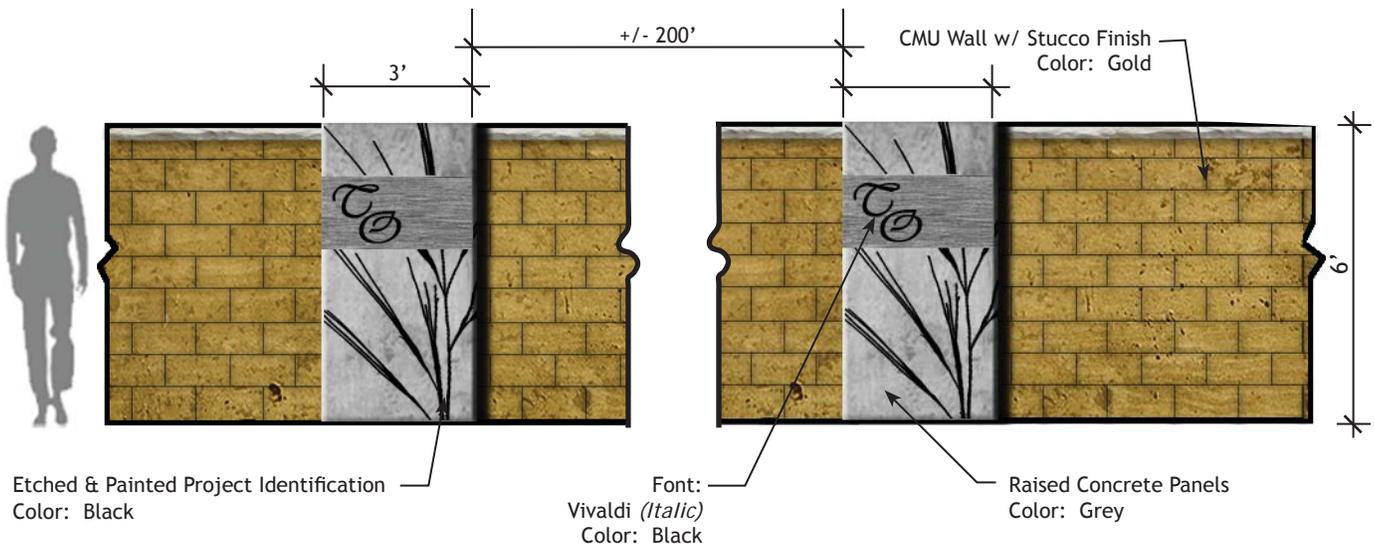
- a. Sidewalk requirements shall be consistent with City of Rio Rancho standards.
- b. Safe, convenient, and pleasant pedestrian circulation may be accomplished with sidewalks, bike paths, special pavings, and shade.
- c. All pedestrian walkways shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design).
- d. Concrete, asphalt, or compacted decomposed granite with stabilizer are acceptable materials for pedestrian walkways.
- e. Clear sight distances shall be maintained at all driveway locations and intersections.
- f. All wall surfaces shall be finished with either:
 - Stucco;
 - Colored split face block; or
 - Colored burnished block.
- g. All perimeter block walls facing public rights-of-way shall include a continuous 4 inch cap.
- h. Unfinished gray block walls, barbed wire, chain link, concertina wire, and wood or plastic/vinyl fencing are prohibited.
- i. Mechanical units shall be entirely concealed from public view by the use of parapets or equivalent.



Single Family Residential

Each residential neighborhood within Tierra del Oro is encouraged to have a unique identity that will be established through tailored design standards. This approach will enable Tierra del Oro to carve out its own identity within the overall context of Rio Rancho.

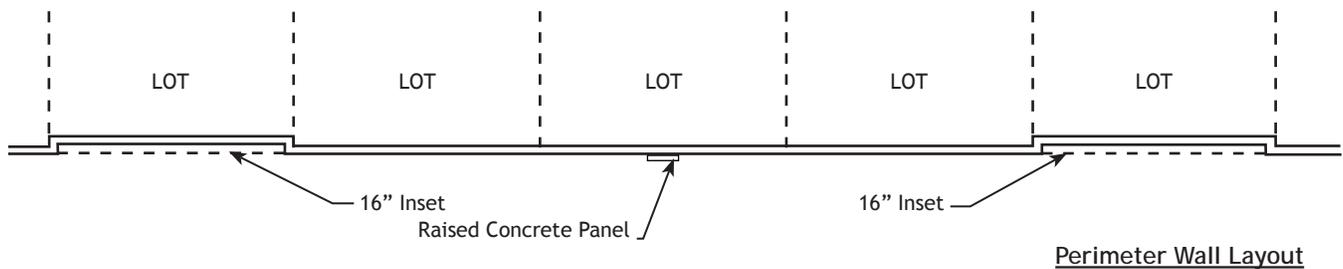
- a. All development shall comply with the City's Subdivision Ordinance.
- b. The front yard setback shall be a minimum of 25 feet for the garage and the living or heated portion of the house shall have a front yard setback of 20 feet in order to avoid creating a "garagescape" effect.
- c. Single family units are prohibited from fronting a collector or major local street.
- d. Proposed driveway locations shall be consistent with curb cut requirements identified in the Rio Rancho City Code.
- e. Lots that face streets at the front and rear shall be limited to one driveway at the front facing street. A solid wall shall be provided at the rear yard of the property to ensure limited access.
- f. Yard walls shall be constructed of CMU block. Perimeter walls shall be constructed of split-face CMU block. The perimeter wall design is as shown below:



Single Family and Multi-Family Perimeter Wall

- g. To soften the horizontal mass of a continuous perimeter wall, the wall shall be designed to:
 - contain a 16 inch minimum setback in the wall surface for a minimum horizontal length of one lot. Setback intervals shall occur every three lots; and
 - have landscaping facing the public right-of-way covering a minimum of 30% of the wall surface. Maintenance of the landscaping shall be the responsibility of the homeowners association.





Multi-Family Residential

- a. The design of vehicular circulation and parking areas within multi-family developments shall provide for safe and convenient movement of vehicles, limit vehicular/pedestrian conflicts, limit paved areas, and soften their visual impact. Parking areas shall be sufficient to serve the complex without utilizing adjacent streets.
- b. In multi-family developments, parking areas shall be screened from public streets by landscape, screen walls, berms, or a combination of those materials. Such screening shall be 2 1/2 to 3 feet in height.
- c. Bicycle parking shall be provided in multi-family developments in a manner that provides convenient access to their use by each building.

Commercial / Office

- a. Front setbacks shall be 35 feet, except where the parcel is adjacent to residential property the minimum front, rear, or side building, parking, or service drive setback adjacent to the residential property shall be 15 feet.
- b. Building elements such as windows, displays, and entries shall be oriented both externally to the streetscape and internally towards public areas.
- c. Open courtyard designs shall be employed in order to form transitions between parking areas and building facades on commercial parcels. Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages.
- d. Buildings shall be horizontally connected by a variety of ways, such as the use of arcades or portals, controlled plaza elements, pavement, and sitting areas.
- e. Freestanding restaurants shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture. The amount of seating at outdoor patios shall be 10 percent of the required indoor seating, with a minimum of 5 seats provided.
- f. Pedestrian crossings, 6 feet in width, shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles.
- g. In order to lessen the visual impact of parking areas, parking facilities shall be broken up into a series of smaller areas.
- h. Handicapped parking spaces shall be provided adjacent to building entries.
- i. Secure bicycle storage racks shall be located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.



- j. Refuse containers shall be fully screened from public view by an enclosure. Materials used for the enclosure shall be compatible with the building materials and architecture.
- k. Access to refuse enclosures shall be internal to the site and shall not be from adjacent public rights-of-way.
- l. Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.
- m. Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- n. Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces and should connect to adjacent roadways, sidewalks, and pathways.

3. SIGNAGE

Signage should enhance the overall character of the community, as well as provide information and direction to residents and visitors. A common design theme for signage within Tierra del Oro will enhance the community image. Size and placement of all signage should be considered an integral part of the site development process.

General

- a. Signs shall be designed, sited, and installed to avoid disruption of vehicular sightlines, as well as conform to existing Rio Rancho sign regulations.
- b. No sign may overhang a right-of-way or property line.
- c. Prohibited signs include banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday season or special thematic event); brashly colored signs with moving or flashing lights; signs which are animated in any manner; portable signs; off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.

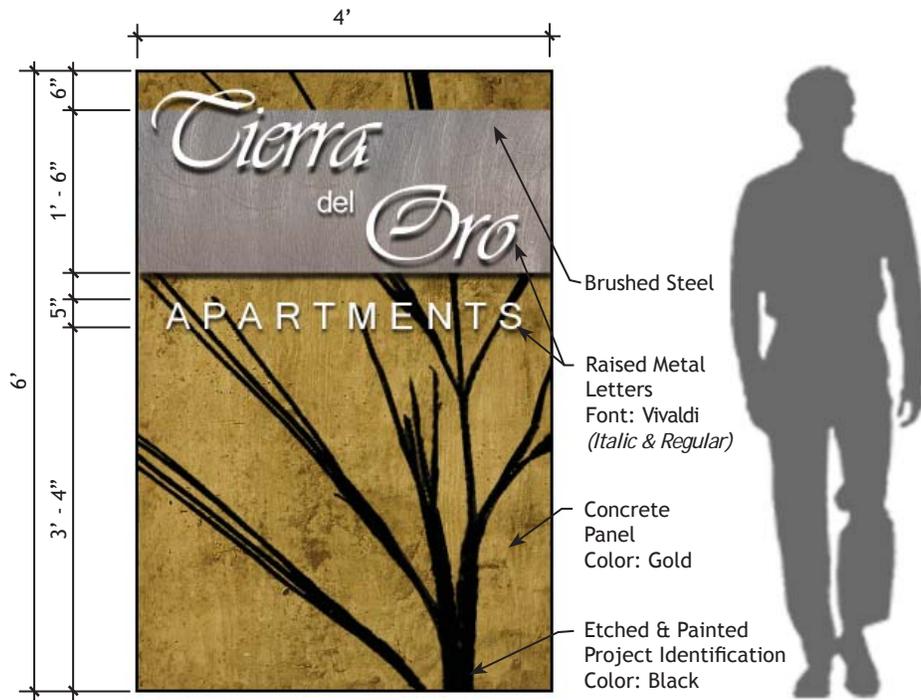
Single-Family and Multi-Family Residential

- a. All neighborhood entries shall include the specific subdivision name and “Tierra del Oro”.
- b. Freestanding neighborhood entry signage shall be monument style. If placed within a median, the maximum height shall not exceed 4 feet. If placed within a landscape setback at the neighborhood entry, the maximum height shall not exceed 5 feet for a single family development and 6 feet for multi-family development. Neighborhood entry signage may be wall-mounted as an alternative to freestanding.





Typical Single Family Free-Standing Sign

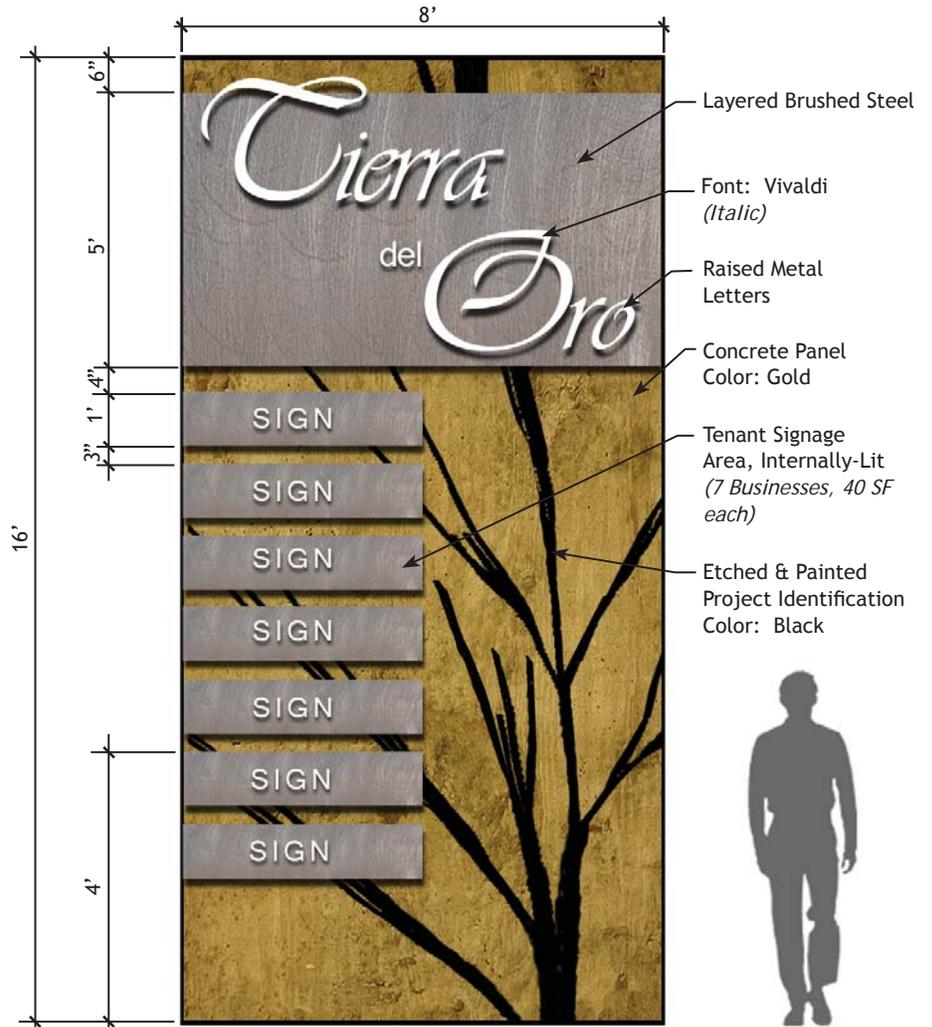


Typical Multi-Family Sign



Commercial / Office

- a. Signage for Tierra del Oro shall be consistent with Chapter 156: Sign Regulations, of the Rio Rancho Code of Ordinances.
- b. The developer shall provide project entry signs to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.
- c. All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.) as shown below. The sign area for project entry signs shall not exceed 60 square feet, exclusive of Tierra del Oro project identification. Maximum height shall not exceed 16 feet.



Typical Commercial Sign

- d. One monument or freestanding sign is allowed on each commercial site and shall be of similar design and materials as the building. The sign area for individual signs shall not exceed 24 square feet, exclusive of Tierra del Oro project identification. Maximum height shall not exceed 6 feet.
- e. Building-mounted signs shall not interfere with architectural features, including windows, columns, moldings or any decorative features.
- f. Building-mounted signs shall not project more than 1 foot from the display wall or exceed 10% of the wall area. Canopy and marquee signs shall be included in the total area count allowed for all signs.
- g. Building-mounted signs shall be constructed with individual channel letters, backlit or with up-lights.
- h. Signs perpendicular to an elevation shall only occur under an awning or canopy / portal and shall not exceed 8 square feet. Perpendicular signs shall not project past the overhang.
- i. Signs shall identify only the name and business of the occupant or of those offering the premises for sale or lease.



4. ARCHITECTURE

The architectural standards are intended to describe the general characteristics of the commercial pads and residential units to be constructed within the project. While all of the buildings will reflect these standards, it is not the intent of these design standards to prohibit a certain amount of individual expression and creativity. The use of various architectural details and materials shall be consistent when used on various elevations.

General

- a. Stucco shall be the primary building material. Stone, tile, or brick accents are allowed.
- b. Stucco colors shall be limited to shades of brown, tan, sage green, and sand. Bright colors as the dominant exterior color are prohibited.
- c. The use of accent colors in entry portals, front door, window frames and trim, and other incidental elements is encouraged.
- d. Antennae or solar collector equipment, if used, shall be installed so as to minimize its visibility from any public street or adjacent lot.
- e. Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surfaces
 - chain link fence or barbed wire
 - metal paneling
 - materials with high maintenance requirements
- f. Accent materials shall be used to articulate and give scale to a building. These may include tile, wood trim, metal, etc.
- g. Approved colors for roofs include yellow ochres, browns, earth tones, and dull reds. Very light and very dark colors should be avoided.
- h. Primary - exterior colors shall be earth tones, ochres, browns, and dull reds.
- i. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are earth tones, white, green, red, blue, and brown ranges.

Single-Family Residential

- a. Building height on houses with pitched roofs shall not exceed 32 feet to the highest point of the pitch. Building height on houses with flat roofs shall not exceed 26 feet.
- b. The maximum area of the second story of a single-family house, including heated spaces and covered porches, shall be no more than 75% of the area of the first floor, including heated spaces, covered porches, and garage. In situations where the top of roof (or parapet wall) associated with a first-floor room exceeds 18 feet from finished floor, then such area shall be considered as a second-story for determining the 75% ratio.
- c. The second story portion of a two story single-family house shall be set back from the first floor exterior walls a minimum of 5 feet to eliminate the appearance of two story walls.



- d. Front porches, entryways, and/or portals, if used, shall have a minimum 6 foot depth.
- e. Garages that front the street shall be constructed with a “shadow box” containing a minimum depth of eight inches.

Multi-Family Residential - R-3 and SU for R-6

- a. All buildings within the R-3 zone shall have a maximum height of 32 feet.
- b. The second story portion of a two story townhome within the R-3 zone shall be setback from the first floor exterior walls a minimum of 5 feet to eliminate the appearance of two story walls (*see previous section addressing single family units within the R-3 zone*).
- c. All buildings within the SU for R-6 and CCRC zone shall have a maximum height of 48 feet (3-stories).
- d. Buildings within the SU for R-6 and CCRC zone shall have a Mediterranean architectural style.
- e. Buildings within the SU for R-6 and CCRC zone shall have roofs with clay or concrete tile and a maximum 4:12 pitch.

Commercial / Office

- a. Commercial buildings shall have a maximum height of 32 feet.
- b. Edge treatments shall “step down” to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.
- c. All sloped roof lines must overhang and provide appropriate detailing.
- d. Buildings shall employ a variety in structural forms to create visual character and interest. Avoid long, unarticulated facades. Facades should have varied front setbacks, with wall planes not running in one continuous direction without a change in architectural treatment (i.e. 3 foot min. offset, fenestration, material, change, etc.).
- e. Columns, arcades, corner articulation. overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be dimensioned and detailed to provide a human scale and visual interest.
- f. Extended architectural detailing on the ground floor in an elevational band from 0 to 2 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required in order to enhance the pedestrian level experience.
- g. Entryways shall be highlighted by an awning, canopy, marquee, or inset, and shall include lighting.
- h. The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.



5. LIGHTING

The objective of the lighting standards is to preserve the “dark sky” while providing lighting that enhances the safety, security, and visual aesthetics of the area. Careful attention to lighting detail will contribute to the sense of a cohesive community image. Additional restrictions on lighting may be imposed through privately enforced covenants, conditions, and restrictions (CC&Rs).

General

- a. Light fixtures and standards shall conform to local safety illumination standards and existing City regulations, which require street lights at all intersections, cul-de-sacs, and curves in the roadway.
- b. Street lights shall be per Rio Rancho and Public Service Company of New Mexico standards.
- c. Site lighting shall be shielded and oriented so as to eliminate glare or light trespass onto adjacent roadways and properties. All lighting shall be in compliance with the State of New Mexico Night Sky Act.
- d. Lighting layout shall be coordinated with proposed landscaping and trees to maximize light distribution and avoid conflicts.
- e. Bollard lights, if used, shall be metal halide and fitted with louvers, diffusers, or shields as necessary to eliminate glare on adjacent roadways and properties.

Commercial

- a. The maximum mounting height of luminaires for pedestrian scale lights shall be 16 feet in height.
- b. The maximum mounting height of luminaires for parking lot lights shall be a maximum of 25 feet in height, except where they are within 70 feet of residential, they shall be 16 feet in height.
- c. Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.

6. LANDSCAPE AND STREETSCAPE

The environmental, as well as aesthetic, value of landscaping in an arid region cannot be overstated. Landscaping should be used to buffer residential from noise or undesirable views, to provide wind protection, shade, and relief from the heat and glare generated by development, to control soil erosion, and enhance pedestrian and vehicular traffic and safety. Recognizing the increased public awareness of water conservation, these standards promote the use of native and naturalized plant species that perform well in an arid environment.

General

- a. Landscape plans shall comply with the City’s Water Conservation Ordinance and Zoning Code.
- b. Landscaping in accordance with an approved plan must be installed in a timely manner in accordance with the CC&Rs.
- c. Turf shall not be used within the street R.O.W. or within the landscape area between the curb and sidewalk.



- d. A clear sight triangle must be maintained in any landscape area.
- e. A fully automated irrigation system shall be provided for all landscaped areas. The system shall be designed to avoid overspraying walks, buildings, fences, etc.
- f. Undeveloped areas held in reserve for future building or pavement should be stabilized with an acceptable polymer based agent or seeded with a mixture of native grasses/wildflowers.
- g. Coverage of the common landscape areas with living vegetative material will be governed by existing City regulations.
- h. Street trees shall be planted within 10 feet of the back of curb.
- i. Street trees shall be provided at a rate of one tree per 30 linear feet along commercial frontage, subdivision perimeter, and where lots back up to the roadway. Tree species shall be as follows:

14th Street

- Bloodgood Plane Tree / *Platanus acerifolia*
- Southern Live Oak / *Quercus virginiana*

26th Street, 15th Street, and 13th Street

- Chinese Pistache / *Pistacia chinensis*
- Austrian Pine / *Pinus nigra*
- Mexican Elder / *Sambucus mexicana*

Residential

- a. Street trees should be provided at a rate of 1 tree per residential lot frontage along roads throughout the Tierra del Oro area.
- b. Homebuilders shall provide front yard landscaping for each residential lot. This requirement is in addition to the street tree in front of the residence. The minimum plant quantities shall be as follows:

Trees - One deciduous shade or evergreen tree, 3 inch caliper or 10 - 12 feet in height

Shrubs / Groundcovers - Six 1-gallon and five 5-gallon shrubs

Turf - if provided, turf shall be warm season, drought tolerant species

Irrigation - all front yard landscape and the street tree in front of the residence shall have automatic irrigation with a timer

Mulch - Gravel mulch

- c. Irrigation and maintenance of front yard landscape and street trees shall be the responsibility of the individual homeowner.



- d. For each of the four neighborhoods within Tierra del Oro, street trees shall be chosen from the following list:

Neighborhood A

- Urbanite Green Ash / *Fraxinus pennsylvanica* 'Urbanite'
- Texas Red Oak / *Quercus buckleyi*

Neighborhood B

- Oklahoma Redbud / *Cercus reniformis*
- Raywood Ash / *Fraxinus oxycarpa* 'Raywood'

Neighborhood C

- Common Hackberry / *Celtis occidentalis*
- Golden Rain Tree / *Koelreuteria paniculata*

Neighborhood D

- Black Locust / *Robinia pseudoacacia*
- Bigtooth Maple / *Acer grandidentatum*

Commercial

- a. Where commercial development is adjacent to residential development, a 15 foot landscaped buffer shall be provided on the commercial side. Trees planted within landscape buffers shall be provided at an minimum interval of one per 25 feet and shall have a predominance (60% minimum) of evergreen trees with a minimum height of 10 feet at the time of planting.
- b. In addition to the landscape plantings, the landscaped buffer shall also include a solid 6 foot wall, finished with the predominant material of the building.
- c. Landscape setbacks between parking areas and the street shall be 10 feet in width.
- d. A minimum of 10% of the gross site acreage shall be landscaped.
- e. Site amenities, such as street furniture, lighting, bollards, etc., are encouraged and shall be compatible with the architectural and landscape treatments on each pad site.
- f. Gravel, colored rock, and similar materials are acceptable as a top dressing for landscape areas, however, they shall not be considered a focal landscape element.
- g. Steel, brick, or equivalent landscape headers shall be used to separate any turf and shrub / ground-cover areas.
- h. All commercial site landscaping shall be completed no later than two months after construction of site improvements has been completed.
- i. Plant palette. The following plant palette has been developed as a general guide for commercial development at Tierra del Oro. Substitutions are allowed in cases where plant species or sizes are not available.

Trees

- Washington Hawthorn / *Crataegus phaenopyrum*
- Purple Robe Locust / *Robinia ambigua* 'Purple Robe'



Western Catalpa / *Catalpa speciosa*
Desert Willow / *Chilopsis linearis*
New Mexico Locust / *Robinia neomexicana*
Southern Live Oak / *Quercus virginiana*
Scotch Pine / *Pinus sylvestris*
Afghan Pine / *Pinus eldarica*
New Mexico Olive / *Forestiera neomexicana*
Honeylocust / *Gleditsia triacanthos*

Shrubs and Groundcovers

Apache Plume / *Fallugia paradoxa*
Autumn Sage / *Salvia greggii*
Big Sage / *Artemisia tridentata*
Blue Leadwort / *Ceratostigma plumbaginoides*
Blue Mist Spirea / *Caryopteris x clandonensis*
Claret Cup / *Echinocerus triglochidiatus*
Crape Myrtle / *Lagerstroemia*
Creeping Rosemary / *Rosmarinus off. pro.*
Mugo Pine / *Pinus mugo*
Parry Agave / *Agave parryi*
Red Yucca / *Hesperaloe parviflora*
Rosewood / *Vaquelinia*
Shrubby Cinquefoil / *Potentilla frutacosa*
Soft Blade Yucca / *Yucca recurvifolia*
Spanish Bayonet / *Yucca baccta*
Three Leaf Sumac / *Rhus trilobata*
Winterfat / *Ceratoides lanata*

Ornamental Grasses

Maiden Grass / *Miscanthus sinensis* 'Gracillimus'
Bear Grass / *Nolina microcarpa*
Blue Fescue / *Festuca ovina* 'Glaucua'
Sand Dropseed / *Sporobolus cryptandrus*
Regal Mist / *Muhlenbergia capillaris*

- j. Minimum plant sizes at time of installation shall be as follows:
Trees 3 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers 1 gallon
Turf grasses shall provide complete ground coverage within 1 growing season after installation.



7. SITE UTILITIES

The purpose of these standards is to promote the coordinated development of utilities to minimize utility costs and visual impacts associated with utility structures.

General

- a. All permanent utilities shall be located underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required by the City of Rio Rancho, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.



J. PHASING

1. INTRODUCTION

It is anticipated that the development of the Tierra del Oro Master Plan will be phased. The project will most likely begin with the R-3/Multi-Family, and move to the single-family detached neighborhoods (R-2 and R-4). The last residential phase will be the SU for R-6 and CCRC areas, and the final phase of development is anticipated to be the commercial/office area. The actual phasing is dependent upon market conditions and may change. Project phasing is also determined by infrastructure requirements. The infrastructure phasing requirements are as stated in the following sections 2-5.

2. DRAINAGE

The drainage pond located at the northwest corner of 26th Street and 13th will be required as part of phase one. A main storm drain trunk line will be required in 14th Street. The storm drain will need to be extended eastward as development occurs. Interim holding ponds may also be needed as development occurs.

3. WATER

The main waterline improvements shall be constructed as part of the first phase of construction. Internal water distribution lines will be constructed within each phase.

4. SEWER

The sewer outfall is to the southwest corner of the property. Main sewer line extensions will need to be developed as construction occurs from west to east. If development occurs in the eastern portion of the site earlier than anticipated, then the main sewer line will have to be extended.

5. ROADWAYS

Prior to approval of the residential subdivision at the eastern end of the property, 26th Street will need to be improved and one connection provided to 30th Street. As development continues, roadway improvements will be required to 13th, 14th, and 15th Streets. Phasing of the required improvements shall be determined by the Traffic Impact Analysis required at the time of development for each phase/subdivision.



K. IMPLEMENTATION

The implementation of the Tierra del Oro Master Plan will be accomplished by the following:

1. All platting decisions shall be in compliance with the adopted Tierra del Oro Master Plan and in accordance with City Public Infrastructure Department approval. This will include platting and infrastructure development plans.
2. All infrastructure shall be planned and coordinated with City of Rio Rancho Public Infrastructure, City of Rio Rancho Departments of Public Safety and Transportation, PNM, and any other established entities working with Sandoval County and the City of Rio Rancho.
3. The developer shall ensure that all parks, open space, entryways, linear walkways, rights-of-way, and other landscaped areas will meet City standards as shown on landscape and irrigation plans that shall be approved by the City of Rio Rancho prior to final plat.
4. The landscape within common areas and pocket parks will be maintained by the homeowners' association.
5. Design standards included in this Master Plan shall be incorporated into the C.C. & R.'s.
6. A Development Agreement shall be submitted and approved at the time of platting.
7. Impact fee credits may be pursued for all system level improvements, including parks, trails, roads, and public safety (if applicable).



APPENDIX A: WATER & WASTEWATER AVAILABILITY STATEMENT

This section includes the Notice of Approval letter dated January 10, 2008 addressed to Scott Ashcraft, Beta Equities, LLC from Steve Gallegos, Department of Infrastructure - Utilities Division, and a letter of recommendation for Water and Sewer Availability from Wilson and Company dated December 10, 2007.





Department of Public Works
Utilities Division

January 10, 2008

Mr. Scott Ashcraft
Beta Equities, LLC
100 Gold SW, Suite 209
Albuquerque, NM 87102

Re: Letter Granting Water and Wastewater Availability
Notice of Approval by Steve Gallegos, Utilities System Engineer
Unit 13, Blocks 46 & 47 Mixed Use Development

Dear Mr. Ashcraft,

The Utilities Commission of the City of Rio Rancho met on December 18, 2007 and approved the granting of this Water and Wastewater Availability Statement for the proposed 53.9-acre mixed use development project in Unit 13 which lies north of 13th Avenue between 26th Street and 30th Street.

Approval of this availability statement does not imply or suggest approval of zoning changes, construction plans, conceptual layouts, or any other requirements that may be conditions of approval for this development. This statement merely represents a commitment from the City that, if all other necessary approvals are obtained and the proposed water and wastewater system improvements are completed, this development will be allowed to be served by the City's water and wastewater systems as described in the attached recommendation letter and model run analyses prepared by Wilson & Company, Inc. and dated December 10, 2007.

Also, in accordance with the *Utility Commission Policy Statement*, this Availability Statement will expire unless construction starts within 1 year of approval by the Commission and is complete within 3 years of approval. If you have questions regarding this Availability Statement or the Utility Commission Policy Statement, please contact Elaine Allen, Utilities Administrative Assistant, at (505) 896-8715 or myself at (505) 891-5046.

Sincerely,

A handwritten signature in black ink that reads 'Steve Gallegos'.

Steve Gallegos
Utilities System Engineer

Cc:

Rob Anderson, Director of Development Services
Scott Sensanbaugher, Public Infrastructure Engineering Manager
Mike Dora, Wilson & Company, Inc.
File



**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Omaha
Pasadena
Phoenix
Rio Rancho
Salina
San Bernardino
Wilson & Company
Latin America, LLC

December 10, 2007

Mr. Scott Ashcraft
Beta Equities, LLC
100 Gold SW, Suite 209
Albuquerque, NM 87102

Re: Water and Sewer Availability for Unit 13, Blocks 46 & 47
WCEA Files: 07-200-045-00

Dear Mr. Ashcraft:

I have reviewed your request for water and sewer availability for the proposed 53.9-acre mixed use development project in Unit 13, and have the following comments and concerns regarding this proposed development. **Please be advised that this letter serves as a recommendation only and is not to be considered an official availability acceptance. Recommendations discussed herein may be revisited and potentially revised by the City of Rio Rancho's Engineering and Utilities Divisions prior to final plan acceptance.**

Water Availability

1. The proposed 53.9-acre development project is located within Unit 13 and lies north of 13th Avenue between 26th Street and 30th Street. The proposed development project is located within Zone 3 and has been modeled with an upper zone feed from Well 16 and the water system that was master planned as part of the Stonegate/Melon Ridge Development Projects. As part of this analysis, a 10-inch main feed from the 14-inch line in 26th Street was modeled as running from 26th Street through to 30th Street. 8-inch lines were modeled throughout the subdivision.
2. For this investigation the following water demands and peaking factors were used:

Residential Demand

Average Demand = 300 gallons/day per residence
Peaking Factor = 2.167
Peak Demand (Design) = 650 gallons/day per residence = 0.45 gpm per residence
= (0.45 gpm)(300 residences) = 135 gpm

Light Commercial Demand

Average Demand = 1750 gallons/day per acre
Peaking Factor = 1.5
Peak Demand (Design) = 2625 gallons/day per acre = 1.82 gpm per acre
= (1.82 gpm/acre)(10.4 acres) = 18.93 gpm

Total Demand = 154 gpm = 342 equivalent dwelling units



3. Figure 1 shows the static pressures under normal conditions. As shown the static pressures are between 50 psi and 70 psi and are acceptable for mixed use development purposes. Figure 2 represents resulting static pressures within the subdivision with a fire flow demand of 2500 gpm at the east end of the development area. Residual pressures within the project area exceed 20 psi and are acceptable but a drop in pressure below 20 psi is experienced outside the proposed development project. A fire flow closer to 1500 or 2000 gpm will result in better residual off-site pressures. The specific fire flow demand required for this development project should be approved by the Rio Rancho Fire Marshal. Fire flow demand in excess of 2500 gpm will result in off-site pressures that are too low and unacceptable.

The overall recommendation is that the 53.9-acre mixed use development project can be conditionally fed with water assuming the previously described Stonegate/Melon Ridge waterline system improvements are constructed, on-line, and operational prior to the completion and hook-up of residences and commercial properties. Coordination with the City of Rio Rancho Fire Marshal is recommended to identify specific fire flow demand requirements.

Sewer Availability

1. The sanitary sewer utility site plan described a tie to the future sewer line in 26th Street that is planned as part of the Melon Ridge/Solcito master plan. This future line will tie to the Montoyas Arroyo Interceptor which has recently been improved and has its final improvement phase slated for construction in 2009.
2. The following wastewater flows were used for the evaluation:

Residential Flows

Average Flow	= 175 gallons/day per residence
Peaking Factor	= 3.0
Peak Flow (Design)	= 525 gallons/day per residence = 0.000525 mgd/residence = (0.000525 mgd/residence)(300 residences) = 0.16 mgd

Light Commercial Flows

Average Flow	= 1230 gallons/day per acre
Peaking Factor	= 3.0
Peak Flow (Design)	= 3690 gallons/day per acre = 0.00369 mgd per acre = (0.00369 mgd/acre)(10.4 acres) = 0.038 mgd

Total Flow = 0.20 mgd = 342 equivalent dwelling units

3. The proposed mixed use development accounts for a considerable amount of flow (0.2 mgd). The submittal does not recommend the size of lines that will be required throughout the development project. The sanitary sewer master plan line in 26th Street has been sized to



account for all potential development in the area and will have sufficient capacity to handle the flows from the proposed development. The capacity upgrade improvements to the Montoyas Arroyo Interceptor (planned and completed) have added considerable capacity to that line and when complete, it will have sufficient capacity to handle all projected flows in the drainage basin including this project.

The overall recommendation is that the 53.9-acre mixed use development project can be conditionally served with sanitary sewer assuming the previously described Stonegate/Melon Ridge/Solcito sanitary sewer system improvements are constructed, on-line, and operational prior to the completion and hook-up of residences and commercial properties.

If you have any questions or concerns please call me at 348-4122.

WILSON & COMPANY

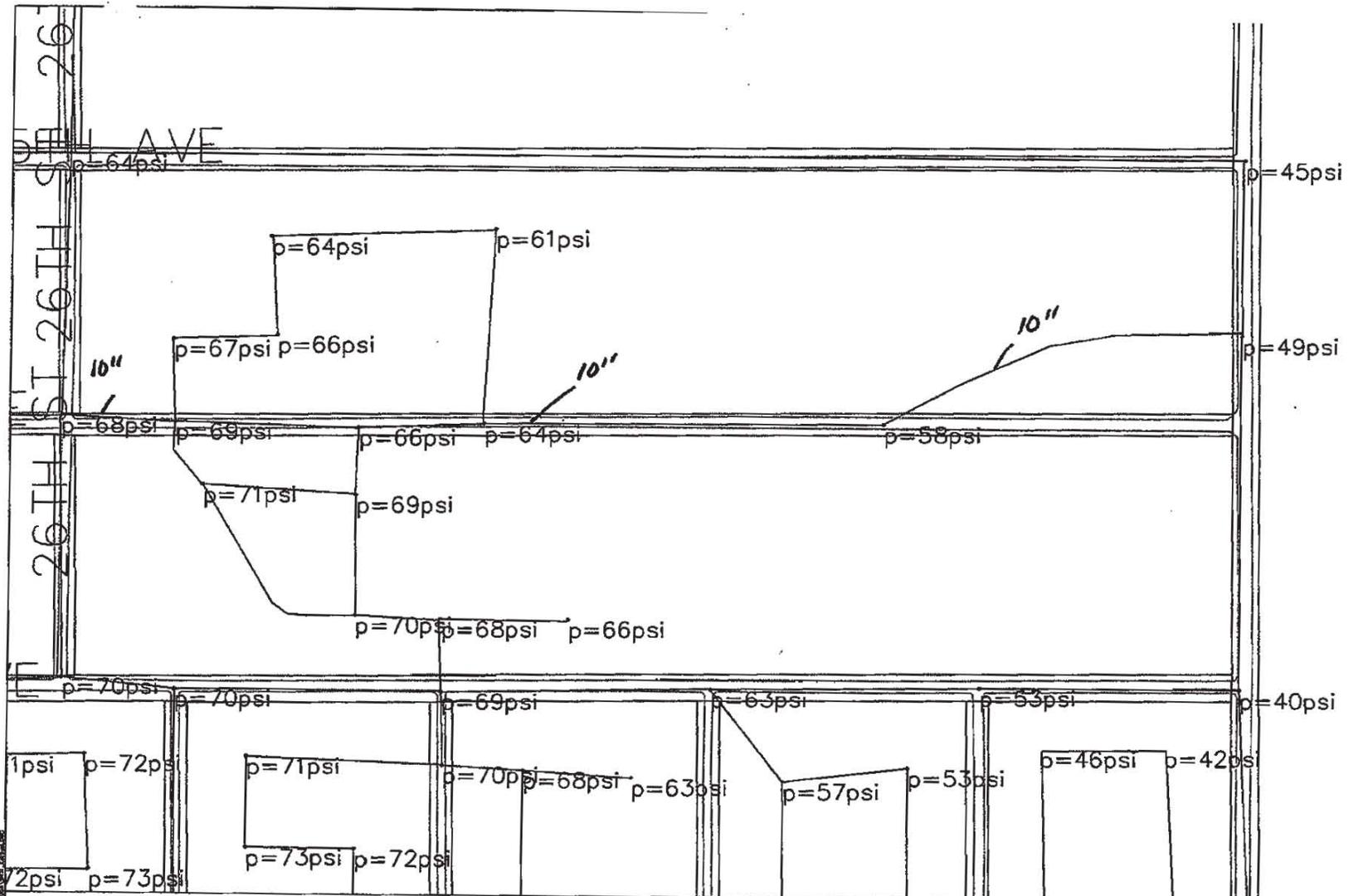


Mike Dora, P.E.

cc: Steve Gallegos, Utilities System Engineer, City of Rio Rancho
Scott Sensanbaugher, P.E., Engineering Manager, City of Rio Rancho
Jarrod Likar, P.E., Project Manager, Huitt-Zollars, Inc.

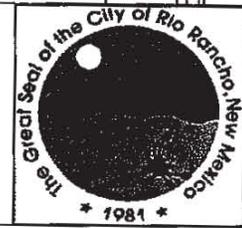


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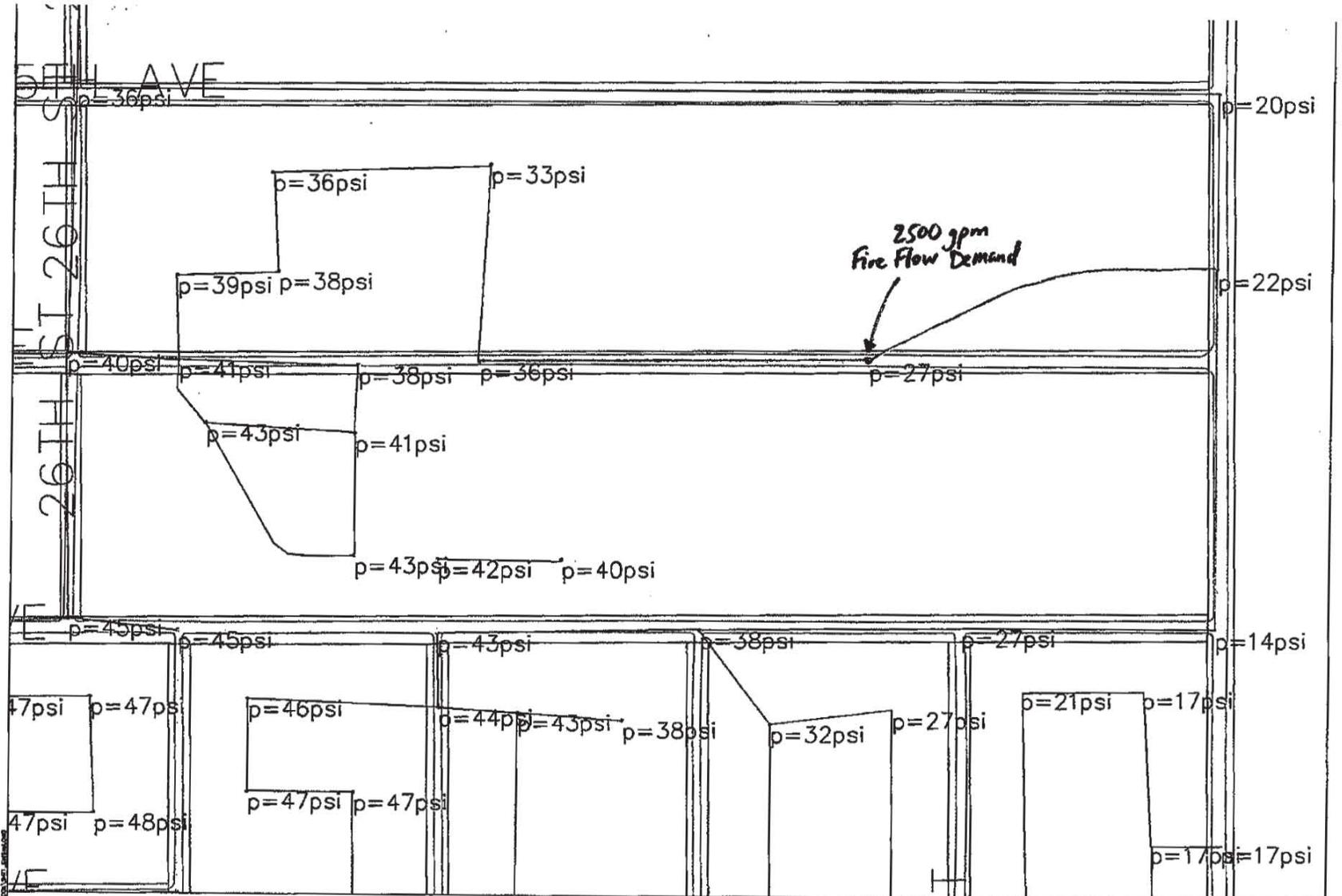
LEGEND

-  TANK
-  CLOSED VALVE
- 73** PRESSURES (PSI)
-  EXISTING WATER LINES
-  PRESSURE REDUCING VALVE
-  PUMP



CITY OF RIO RANCHO, NEW MEXICO WATER SYSTEM H2ONET MODELING RESULTS		DATE August 2007
Unit 13 - Blocks 46 & 47 Normal Cond. Static Pressures		FILE NO. 07-200-045-00
MODIFIED BY MAD	 WILSON & COMPANY 2600 American Rd. SE Suite 100 RIO RANCHO, NEW MEXICO 87124 (505) 592-8021	FIGURE NO. 1
DRAWN BY MAD		
CHECKED BY FAR		
DATE		

22



LEGEND

-  TANK
-  CLOSED VALVE
- 73 PRESSURES (PSI)
-  EXISTING WATER LINES
-  PRESSURE REDUCING VALVE
-  PUMP



CITY OF RIO RANCHO, NEW MEXICO WATER SYSTEM H2ONET MODELING RESULTS		
Unit 13 - Blocks 46 & 47 2500 gpm Fire Flow Pressures		
MODELED BY MND	WILSON & COMPANY 2600 American Rd. SE Suite 100 RIO RANCHO, NEW MEXICO 87124 (505) 850-5021	DATE August 2007
DRAWN BY MND		FILE NO. 07-200-045-00
CHECKED BY PAR		PAGES NO. 2